

GENERAL NOTES		SYMBOLS & ABBREVIATIONS:		PROJECT		CLIENT: TREND CONNECTION HOMES	
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.		GP GULLY PIT		OUR REFERENCE 4/1057985/329491		REF:	
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.		SIP SURFACE INLET PIT		LOT 8 DP 1267546 SECTION		1184	
C) PITS AND SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO DA & THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.		SIC SEWER INSPECTION COVER		DATUM A.H.D		ADDRESS: LASSO ROAD	
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.		MH SEWER MANHOLE		ORIGIN OF LEVELS SSM 168914		SUBURB: GREGORY HILLS	
E) THIS SURVEY HAS BEEN CARRIED OUT UNDER CLAUSE 9 OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017		SWMH STORMWATER MANHOLE		SURVEYED MST			
		W/M WATER METER		DRAWN FD			
		EL ELECTRICITY BOX		SCALE 1: 400			
		TP TELECOMMUNICATIONS PIT		A3 SHEET			
		HYD WATER HYDRANT					
		R/W RECYCLED WATER HYDRANT					
		SV STOP VALVE					
		-E- OVERHEAD ELEC LINE					
		-S- SEWER LINE					
		PP POWER POLE					
		LP LIGHT POLE					
		EC ELECTRICITY CONDUIT					
		ELEC & TELE CONDUIT					
		TC TELECOM CONDUIT					
		WC WATER CONDUIT					
		G GAS CONDUIT					
		GM GAS METER					
		TK TOP OF KERB					
		RTK ROLL TOP KERB					
		VC VEHICLE CROSSING					
		INV INVERT					
		KO KERB OUTLET					
		TTT TOP OF BANK					
		BOB BOTTOM OF BANK					
		OPSP PRESSURE SEWER PUMP PIT					
		PSVP PRESSURE SEWER VALVE PIT					
		FP FLUSHING POINT					

ASPECT DEVELOPMENT & SURVEY Pty. Ltd.

CONSULTING REGISTERED SURVEYORS

ABN 60 078 649 000

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DX 11392
HURSTVILLE

21034 PROJECT ZOMAYA

PROJECT DESCRIPTION

8 LASSO RD, GREGORY HILLS

CLIENT:
TREND CONNECTIONS

ARCHITECTURAL DRAWING

DEVELOPMENT APPLICATION

DRAWING LIST	
Drawing No	Draw Name
DA000	COVER SHEET
DA001	SITE PLAN
DA100	BASEMENT 01 PLAN
DA101	BASEMENT 02 PLAN
DA102	GROUND FLOOR PLAN
DA103	MEZZANINE PLAN
DA104	LEVEL 01 PLAN
DA105	LEVEL 02 PLAN
DA106	LEVEL 03 PLAN
DA107	LEVEL 04 PLAN
DA108	ROOF PLAN
DA500	EXTERNAL ELEVATIONS AND MATERIAL PALLETTE
DA501	EXTERNAL ELEVATIONS AND MATERIAL PALLETTE
DA600	BUILDING SECTIONS
DA601	BUILDING SECTIONS
DA800	SHADOW DIAGRAMS
DA801	SHADOW DIAGRAMS
DA990	GFA CALCULATIONS
DA991	GFA CALCULATIONS BY USE



LOCATION AND SITE ANALYSIS PLAN NTS

ABBREVIATION LEGEND

AP - ACCESS PANEL
AWC - ACCESSIBLE BATHROOM
BOL - BOLLARD
BOOSTER - FIRE BOOSTER
F - FEMALE BATHROOM
FH - FIRE HYDRANT
FHR - FIRE HOSE REEL
FS - FIRE STAIR
GM - GAS METER
LD - LOADING DOCK
RD - ROLLER DOOR
RWO - RAIN WATER OUTLET
RL - RELATIVE LEVEL
SA - SUPPLY AIR DUCT
SSL - STRUCTURAL FLOOR LEVEL
SV - SPRINKLER VALVE
MSB - MAIN SWITCH BOARD
M - MALE BATHROOM
WM - WATER METER

NOTE:
1. AREAS GIVEN ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.
2. CAR PARKING AND DRIVE AISLES OMITTED FROM BUILDING AREAS
3. AREAS GIVEN INCLUDE INTERNAL STAIRS AND AMENITIES
4. TOWN PLANNING CONTROLS AND REQUIREMENTS SUBJECT TO REVIEW AND ANALYSIS BY PLANNING CONSULTANT
5. BCA REQUIREMENTS INCLUDING FIRE RATING TO BE CONFIRMED BY BCA CONSULTANT
6. ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AS/NZS STANDARDS, AND RELEVANT MANUFACTURES RECOMMENDATION, INSTRUCTIONS AND REQUIREMENTS AND CONSENT AUTHORITY REQUIREMENTS
7. DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIALIST CONSULTANT DOCUMENTATION AND DETAILS, SPECIFICATION AND ASSOCIATED REPORTS INCLUDING BUT NOT LIMITED TO CIVIL, STRUCTURAL, TRAFFIC, PLANNING AND ACCESSIBILITY.
9.RL'S TO AHD TAKEN FROM ASPECT DEVELOPMENT AND SURVEY DOCUMENTATION, SHOWN FOR INFORMATION ONLY.
10.GFA MEASURED IN ACCORDANCE WITH LEP.

Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22
C	ISSUED FOR DEVELOPMENT APPROVAL INCORPORATING COUNCIL COMMENTS	19.08.22
D	AMENDED FOR DA APPROVAL	31.08.22

NOTES
ALL AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED TO REVIEW DIMENSIONS.
REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES

DEVELOPMENT APPLICATION ONLY
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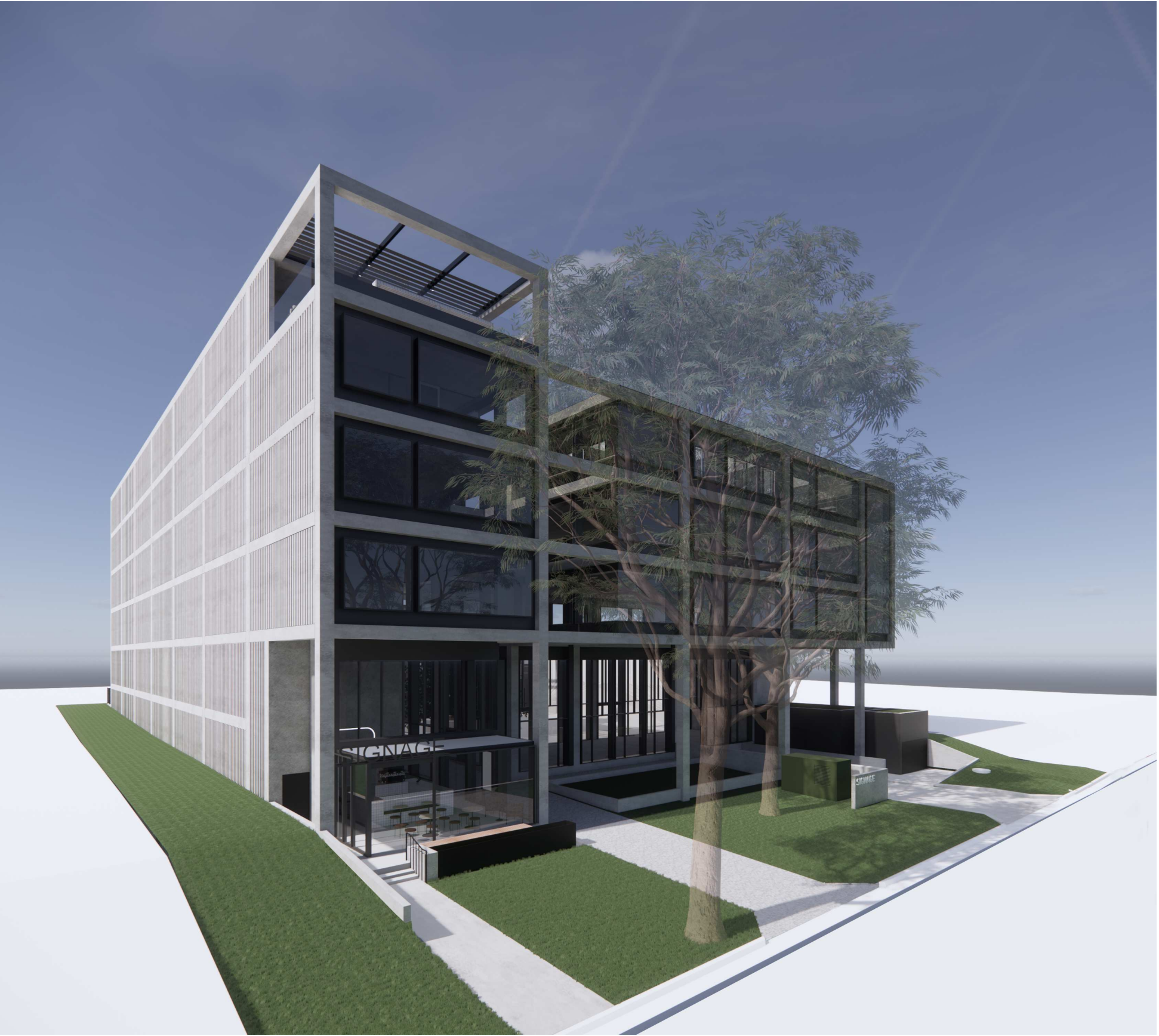
Client
TREND CONNECTIONS

Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

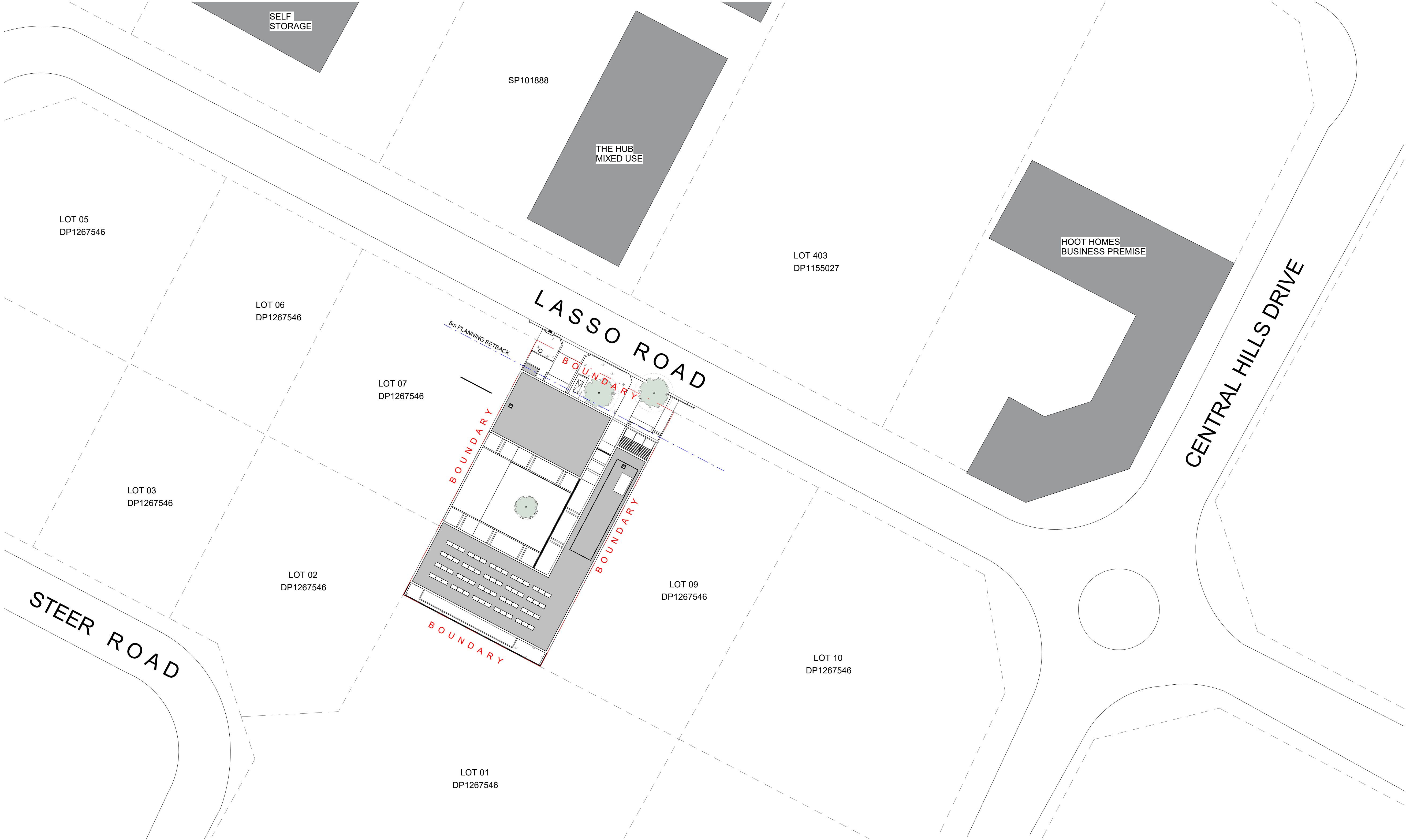
Title
COVER SHEET

Drawing No. DA000	Issue D
Scale	Drawing Size A1
Project No. 21034	Drawn By CLT

CAD Reference
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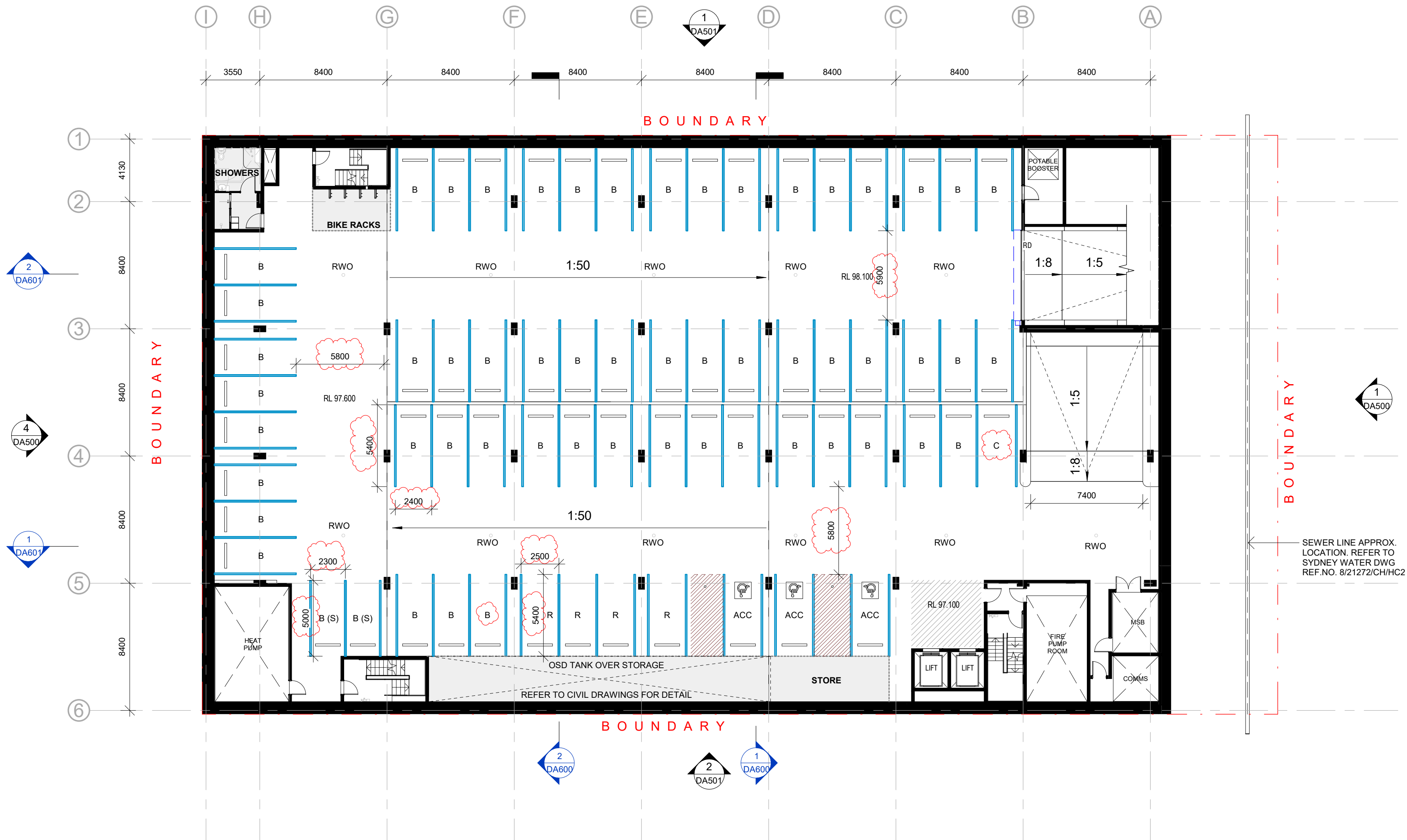


ARTIST IMPRESSION FROM LASSO ROAD



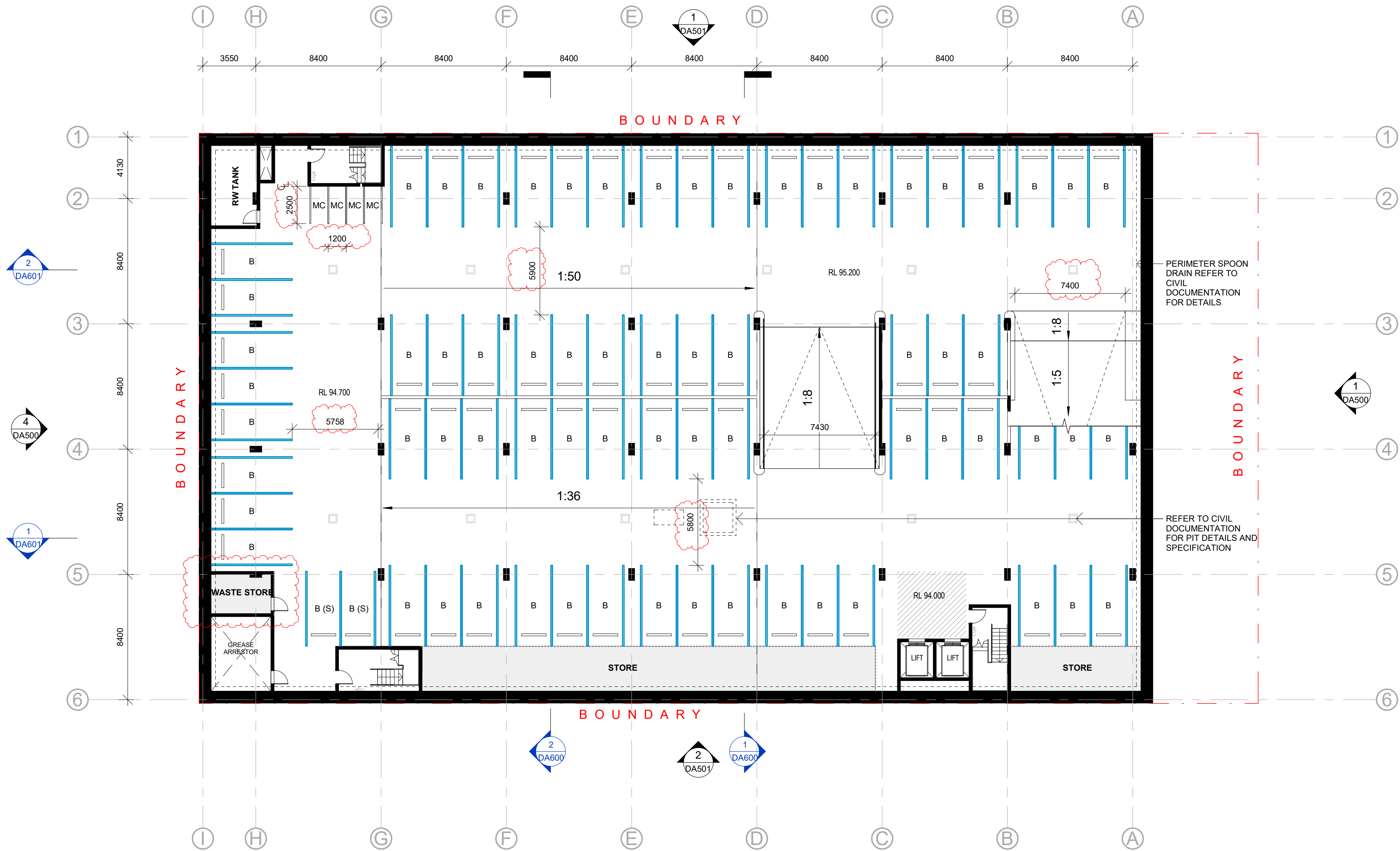
Issue	Description	Date
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<div><div>WMK</div><div>WMK Architecture L2 364 Kent Street Sydney NSW 2000 Telephone 02 9299 0401 Facsimile 02 9299 0402 wmkarchitecture.com ABN 25 082 956 929</div></div>		
Client	TREND CONNECTIONS	
Project	PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS	
Title	SITE PLAN	
Drawing No.	DA001	Issue B
Scale	1 : 500	Drawing Size A1
Project No.	21034	Drawn By CLT
CAD Reference		
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PARKING SCHEDULE		
Level	Parking Type	Number of Spaces
BASEMENT 1	ACCESSIBLE (ACC)	3
ACCESSIBLE (ACC): 3		
BASEMENT 2	BUSINESS (B)	68
BASEMENT 1	BUSINESS (B)	55
BUSINESS (B): 123		
BASEMENT 2	BUSINESS SMALL CAR (B (S))	2
BASEMENT 1	BUSINESS SMALL CAR (B (S))	2
BUSINESS SMALL CAR (B (S)): 4		
BASEMENT 1	COURIER ZONE (C)	1
COURIER ZONE (C): 1		
BASEMENT 1	RETAIL (R)	4
RETAIL (R): 4		
TOTAL PARKING: 135		
BASEMENT 1	B/CYCLE	4
B/CYCLE: 4		
BASEMENT 1	COURIER ZONE (C)	1
COURIER ZONE (C): 1		
BASEMENT 2	M/CYCLE	4
M/CYCLE: 4		



Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
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Client TREND CONNECTIONS		
Project PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS		
Title BASEMENT 01 PLAN		
Drawing No. DA100	Issue C	
Scale 1 : 200	Drawing Size A1	
Project No. 21034	Drawn By CLT	
CAD Reference		
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PARKING SCHEDULE		
Level	Parking Type	Number of Spaces
BASEMENT 1		
ACCESSIBLE (ACC): 3		
BASEMENT 2	BUSINESS (B)	68
BASEMENT 1	BUSINESS (B)	55
BUSINESS (B): 123		
BASEMENT 2	BUSINESS SMALL CAR (B (S))	2
BASEMENT 1	BUSINESS SMALL CAR (B (S))	2
BUSINESS SMALL CAR (B (S)): 4		
BASEMENT 1	COURIER ZONE (C)	1
COURIER ZONE (C): 1		
BASEMENT 1	RETAIL (R)	4
RETAIL (R): 4		
TOTAL PARKING: 135		
BASEMENT 1	B/CYCLE	4
B/CYCLE: 4		
BASEMENT 1	COURIER ZONE (C)	1
COURIER ZONE (C): 1		
BASEMENT 2	M/CYCLE	4
M/CYCLE: 4		




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C	ISSUED FOR DEVELOPMENT APPROVAL INCORPORATING COUNCIL COMMENTS	19.08.22

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Client
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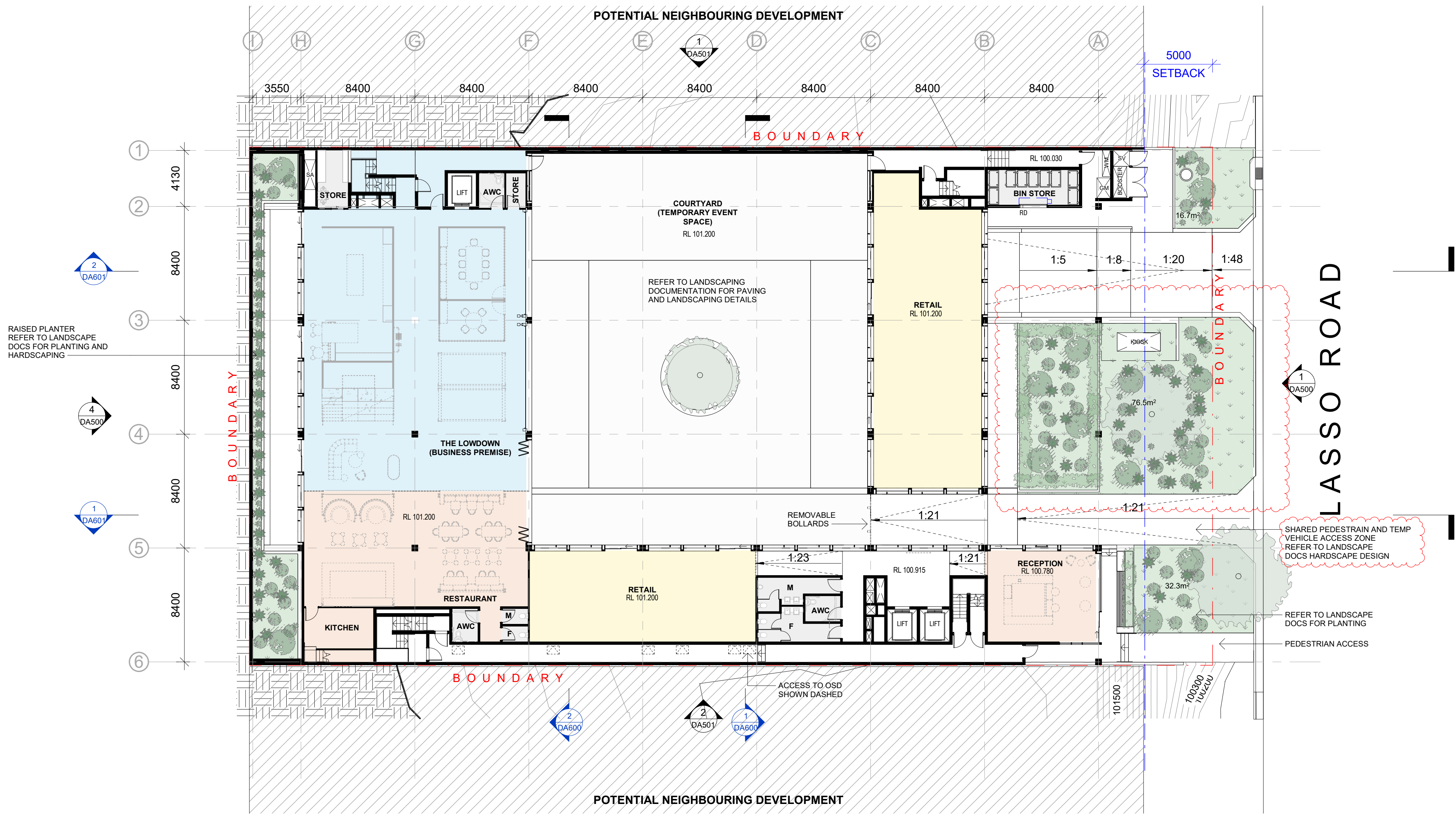
Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

Title
BASEMENT 02 PLAN

Drawing No. DA101	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 21034	Drawn By CLT

CAD Reference
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NOTES

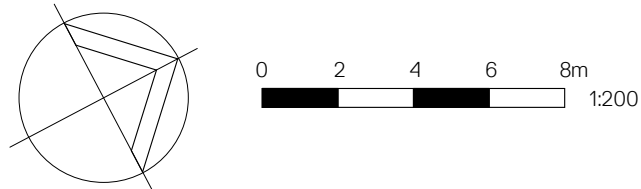
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NOTIONAL TENANCY LINE
TENANCY DIVISIONS TO BE CONFIRMED
IN LATER STAGES

FURNITURE AND TENANCY LAYOUTS WHERE
SHOWN ARE INDICATIVE ONLY

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Client
TREND CONNECTIONS

Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

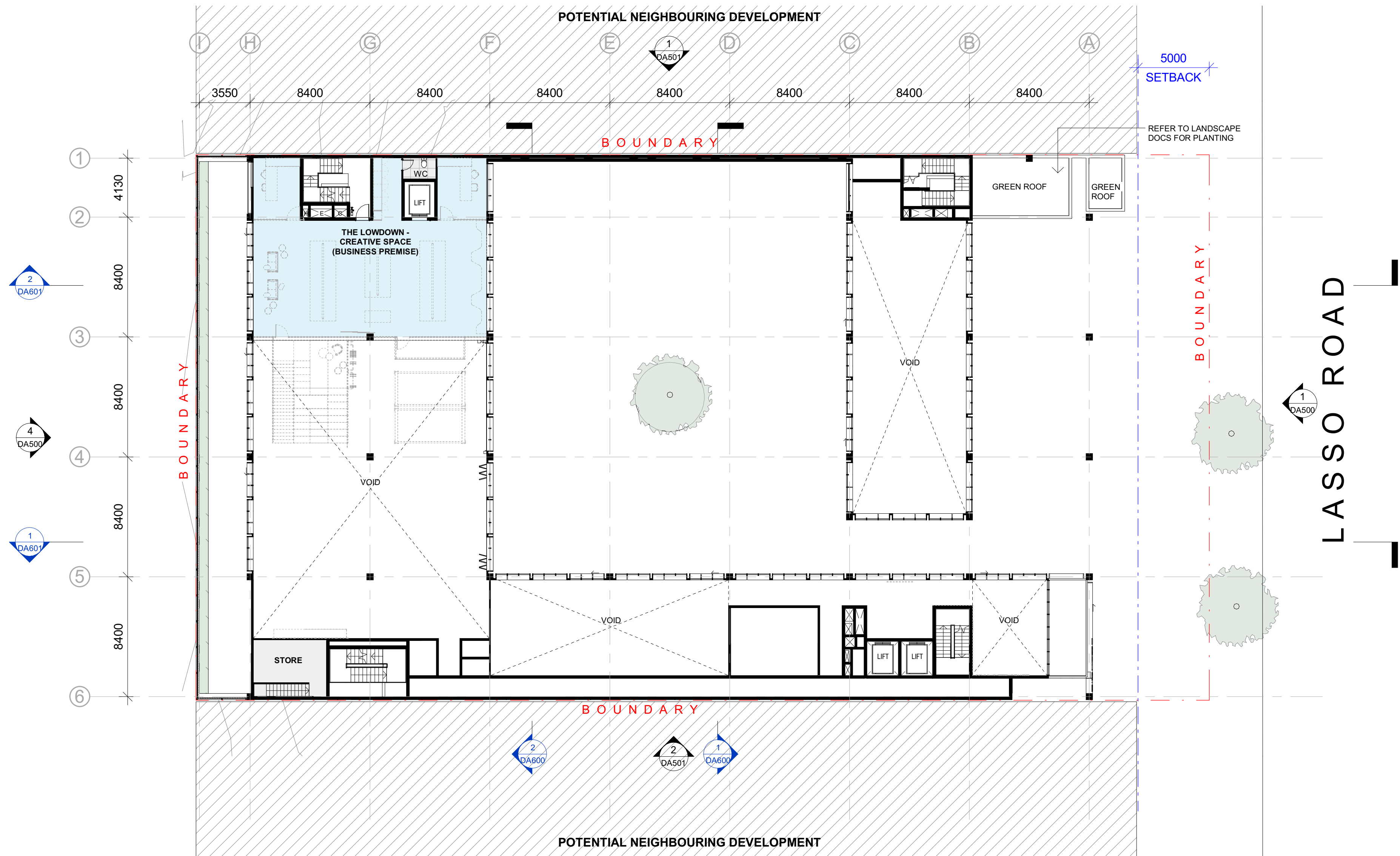
Title
GROUND FLOOR PLAN

Drawing No. DA102	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 21034	Drawn By CLT

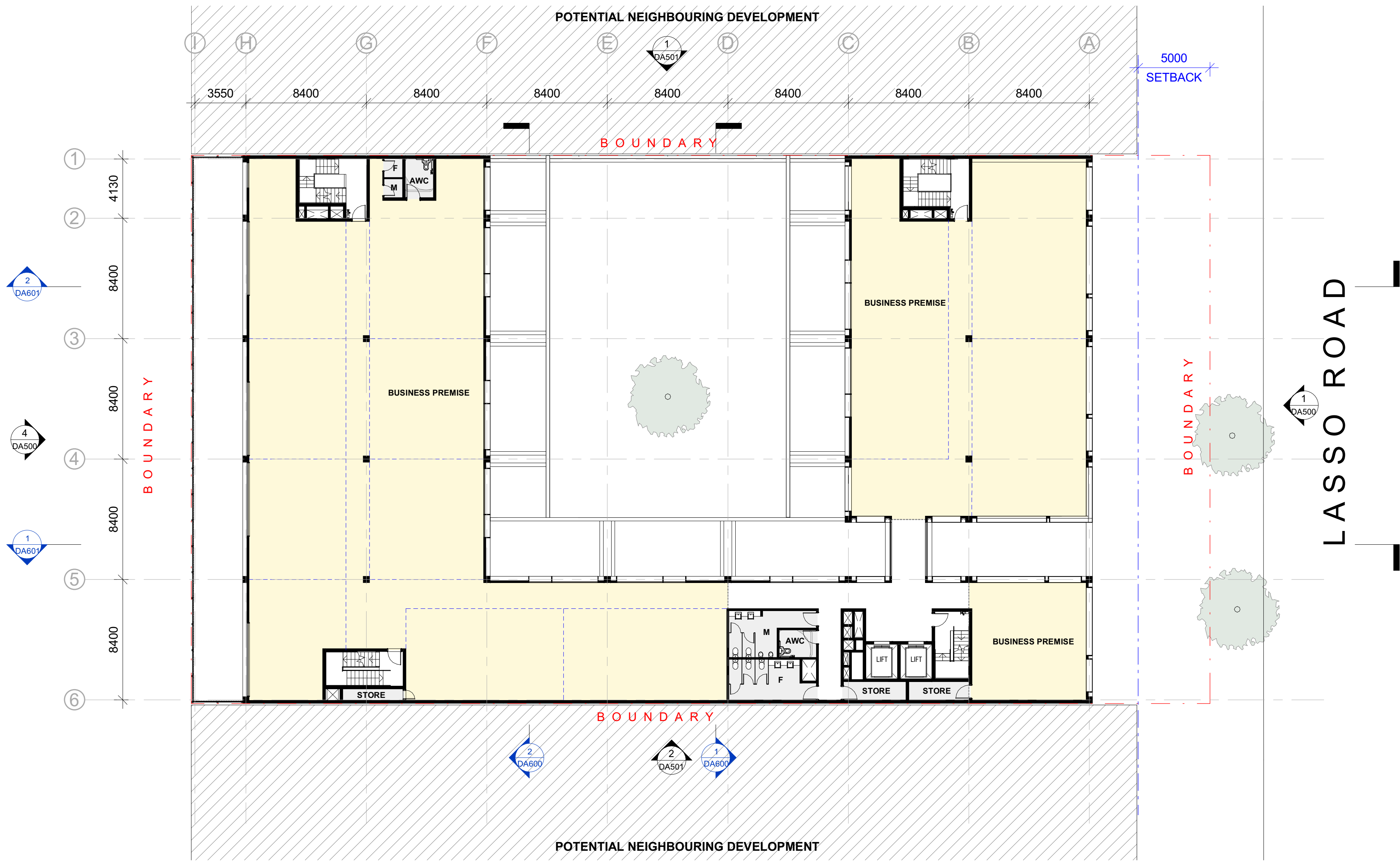
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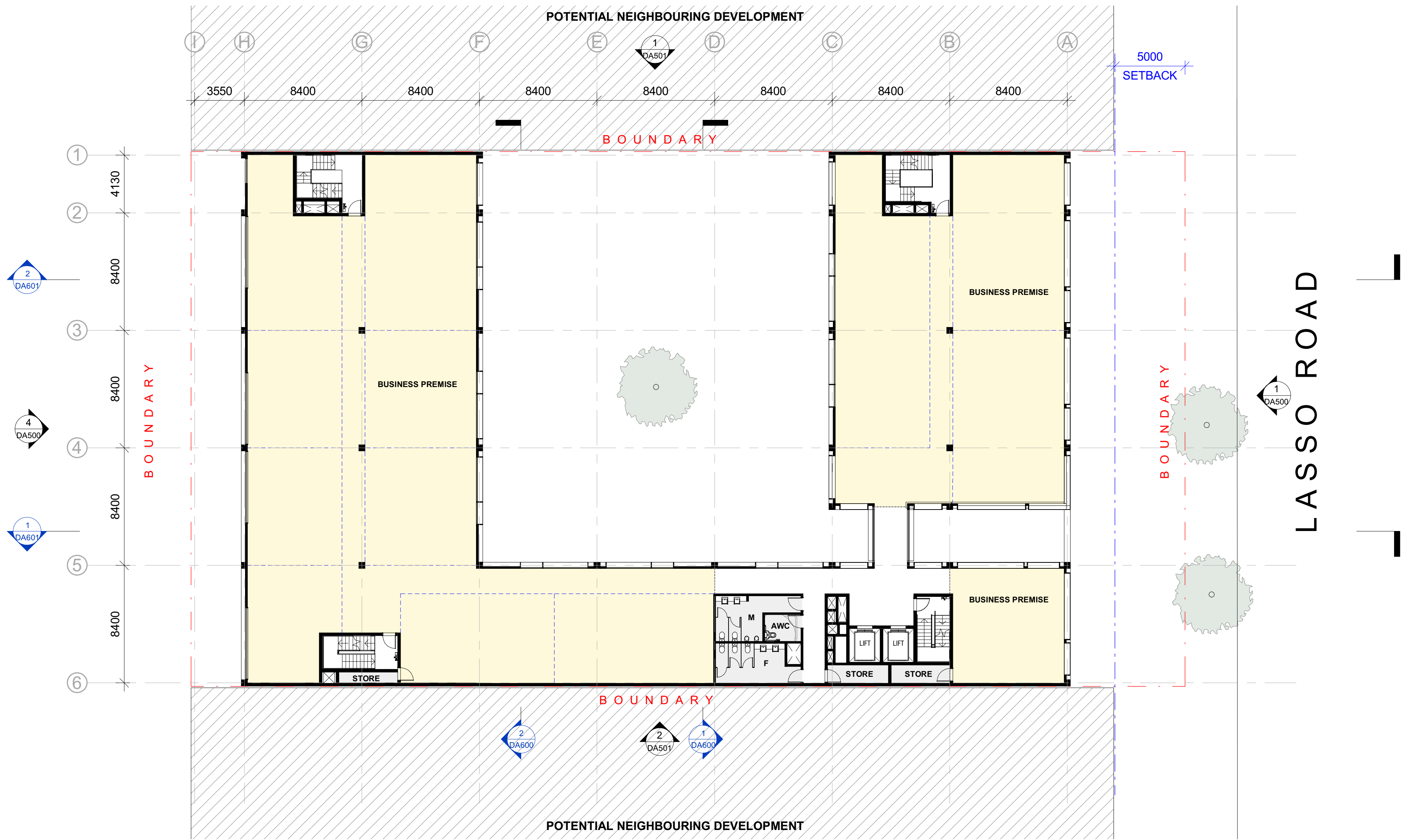
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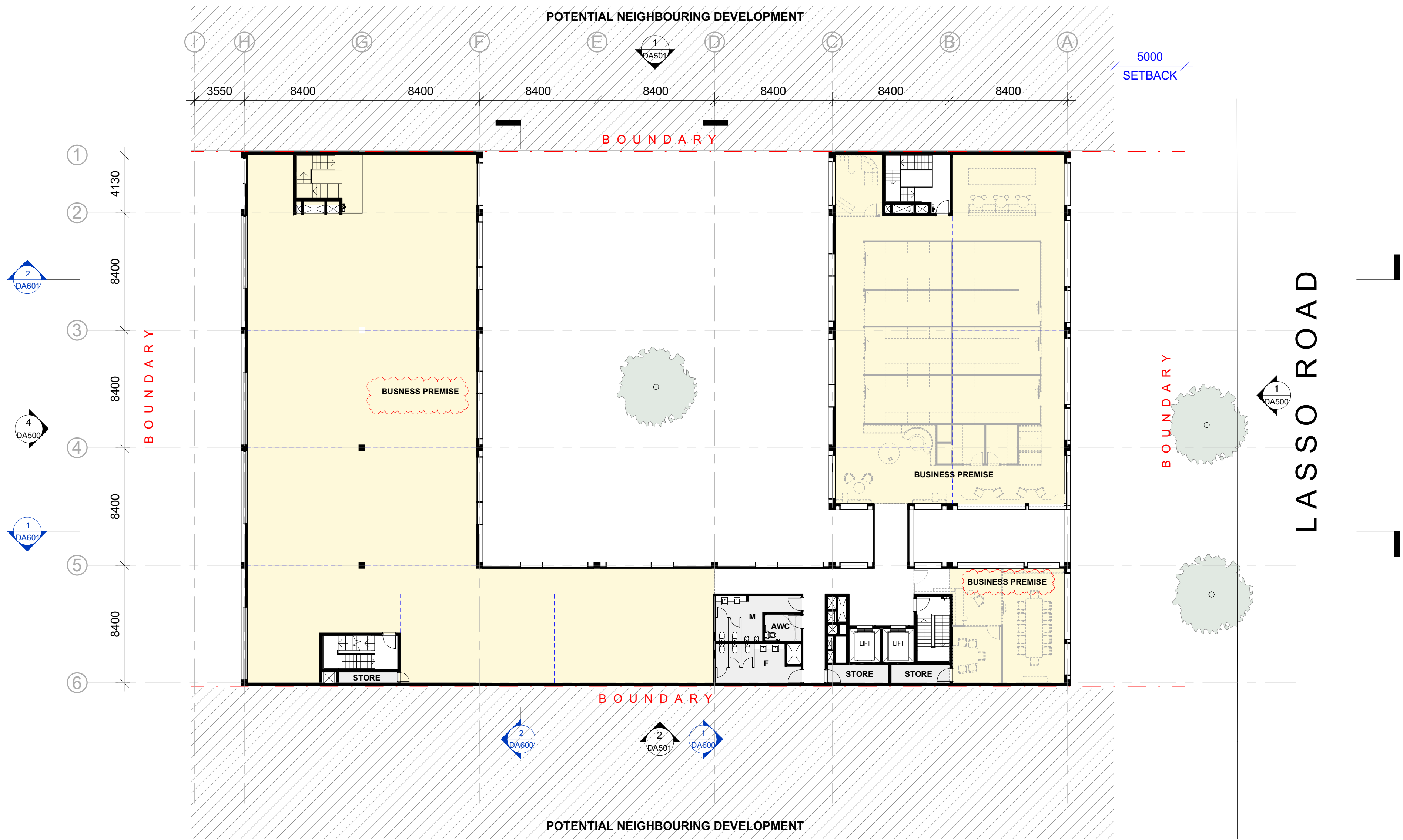
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Client	TREND CONNECTIONS	
Project	PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS	
Title	MEZZANINE PLAN	
Drawing No.	DA103	Issue A
Scale	1 : 200	Drawing Size A1
Project No.	21034	Drawn By CLT
CAD Reference		
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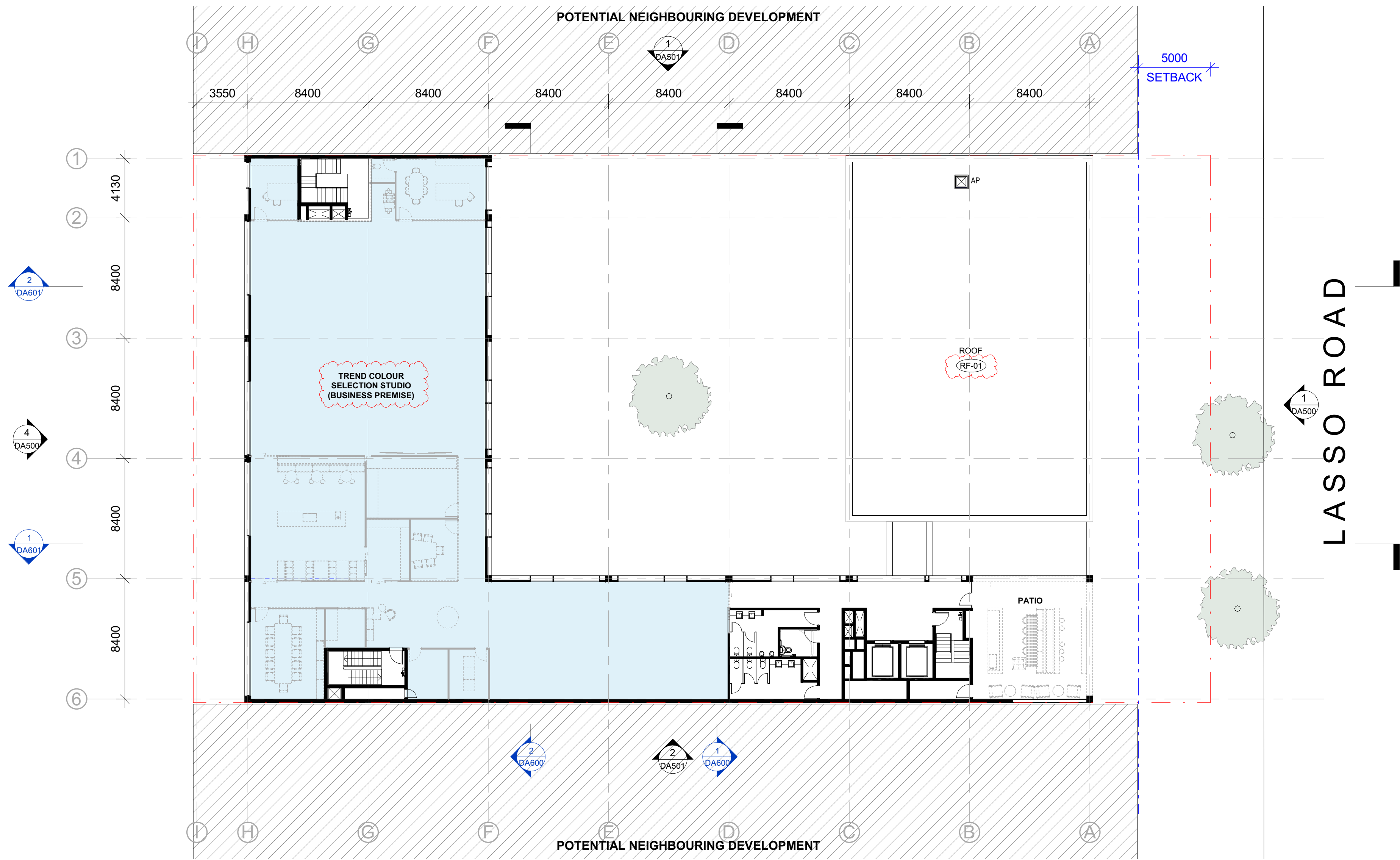
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Client	TREND CONNECTIONS	
Project	PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS	
Title	LEVEL 01 PLAN	
Drawing No.	DA104	Issue A
Scale	1 : 200	Drawing Size A1
Project No.	21034	Drawn By CLT
CAD Reference		
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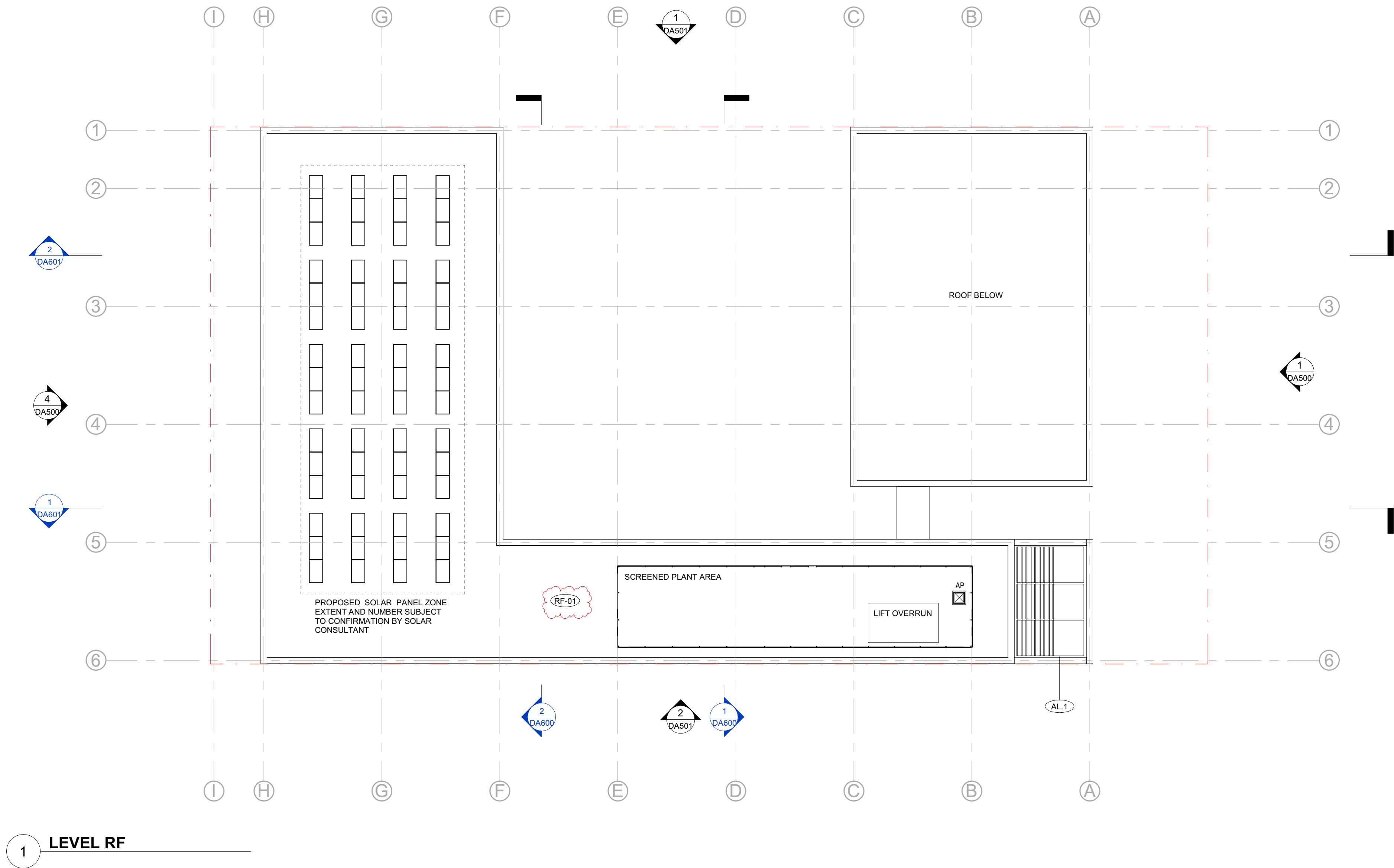
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Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22
NOTES		
ALL AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED TO REVIEW DIMENSIONS.		
REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES		
<div><div></div><div>NOTIONAL TENANCY LINE TENANCY DIVISIONS TO BE CONFIRMED IN LATER STAGES</div><div>FURNITURE AND TENANCY LAYOUTS WHERE SHOWN ARE INDICATIVE ONLY</div></div>		
<div>DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION</div>		
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<div><div></div><div>WMK Architecture L2 364 Kent Street Sydney NSW 2000 Telephone 02 9299 0401 Facsimile 02 9299 0402 wmkarchitecture.com ABN 25 082 956 929</div></div>		
Client		
TREND CONNECTIONS		
Project		
PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS		
Title		
LEVEL 03 PLAN		
Drawing No. DA106		Issue B
Scale 1 : 200		Drawing Size A1
Project No. 21034		Drawn By CLT
CAD Reference		
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Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd ©		

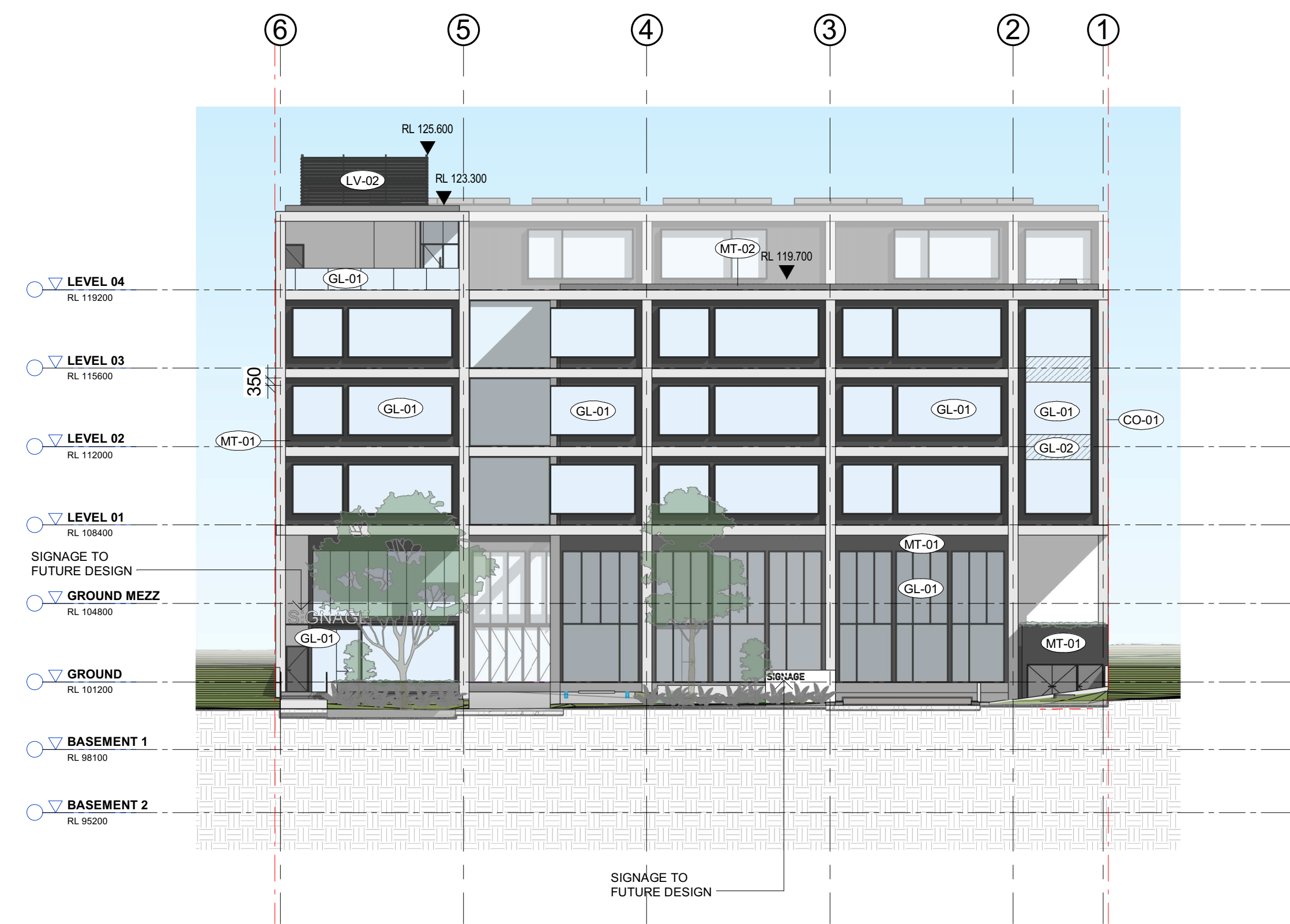


Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22
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REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES		
NOTIONAL TENANCY LINE TENANCY DIVISIONS TO BE CONFIRMED IN LATER STAGES		
FURNITURE AND TENANCY LAYOUTS WHERE SHOWN ARE INDICATIVE ONLY		
DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION		
 WMK Architecture L2 364 Kent Street Sydney NSW 2000 Telephone 02 9299 0401 Facsimile 02 9299 0402 wmkarchitecture.com ABN 25 082 956 929		
Client	TREND CONNECTIONS	
Project	PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS	
Title	LEVEL 04 PLAN	
Drawing No.	DA107	Issue B
Scale	1 : 200	Drawing Size A1
Project No.	21034	Drawn By CLT
CAD Reference		
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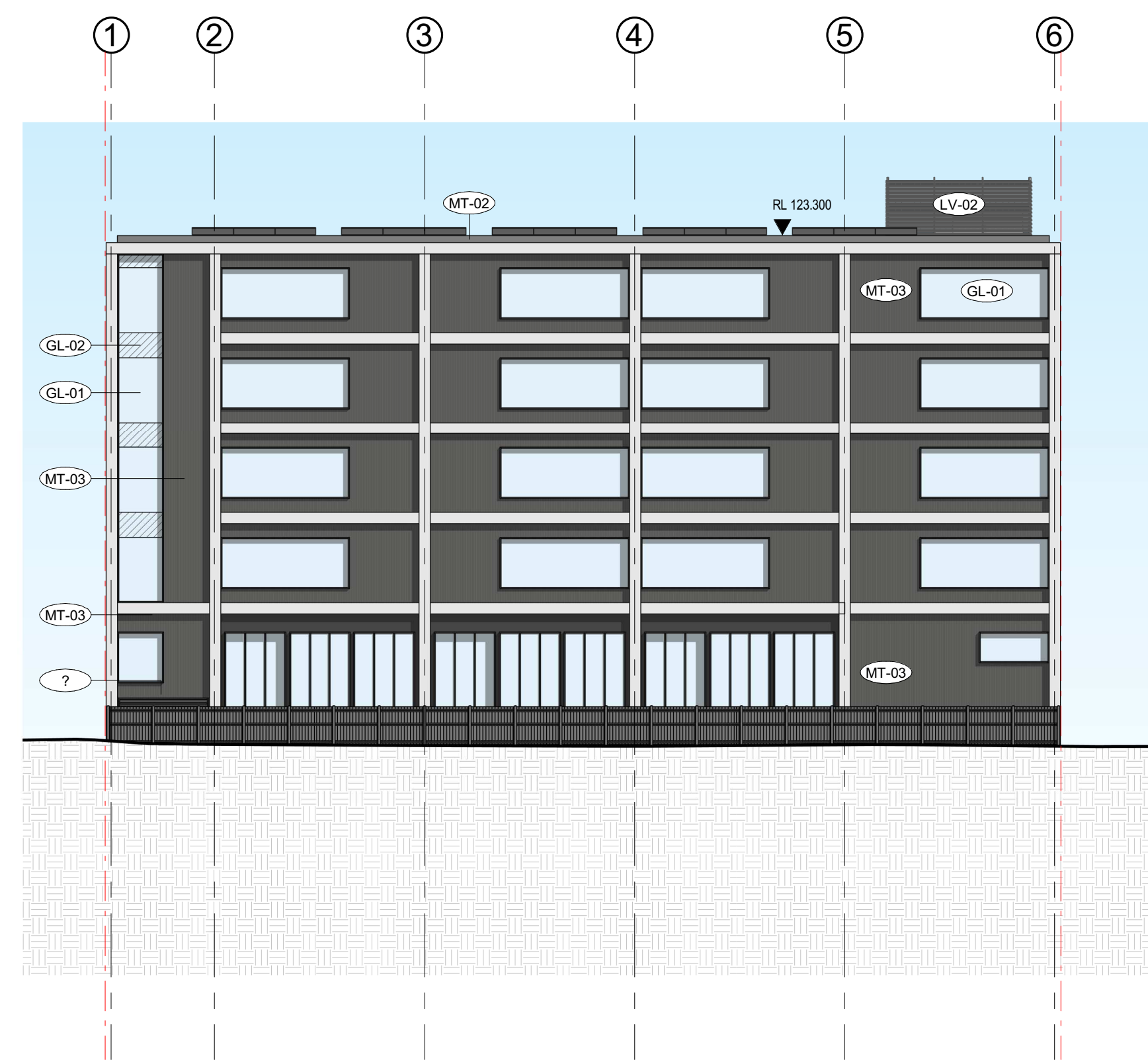


1 LEVEL RF

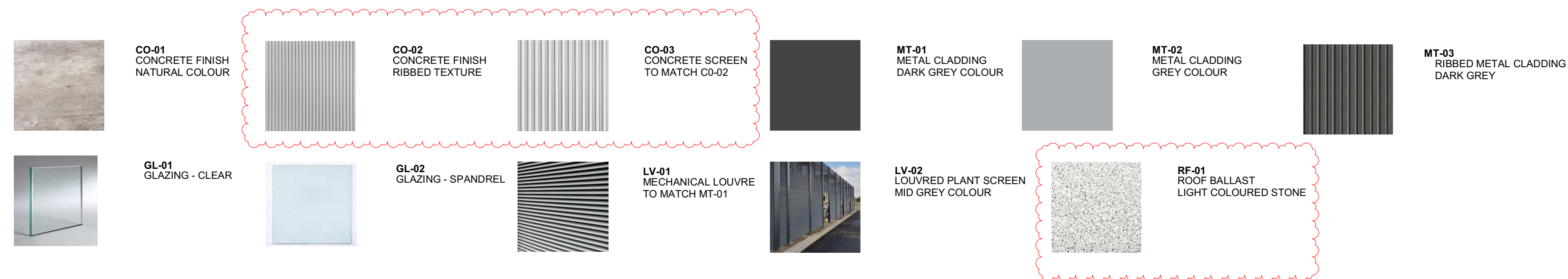
Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22
NOTES		
ALL AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED TO REVIEW DIMENSIONS.		
REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES		
DEVELOPMENT APPLICATION ONLY NOT FOR CONSTRUCTION		
<div>WMK Architecture L2 364 Kent Street Sydney NSW 2000 Telephone 02 9299 0401 Facsimile 02 9299 0402 wmkarchitecture.com ABN 25 082 956 929</div>		
Client TREND CONNECTIONS		
Project PROJECT ZOMAYA 8 LASSO RD, GREGORY HILLS		
Title ROOF PLAN		
Drawing No. DA108		Issue B
Scale 1 : 200		Drawing Size A1
Project No. 21034		Drawn By CLT
CAD Reference		
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1 EAST ELEVATION



4 WEST ELEVATION



MATERIAL LEGEND

Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22

NOTES

ALL AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED TO REVIEW DIMENSIONS.

REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION



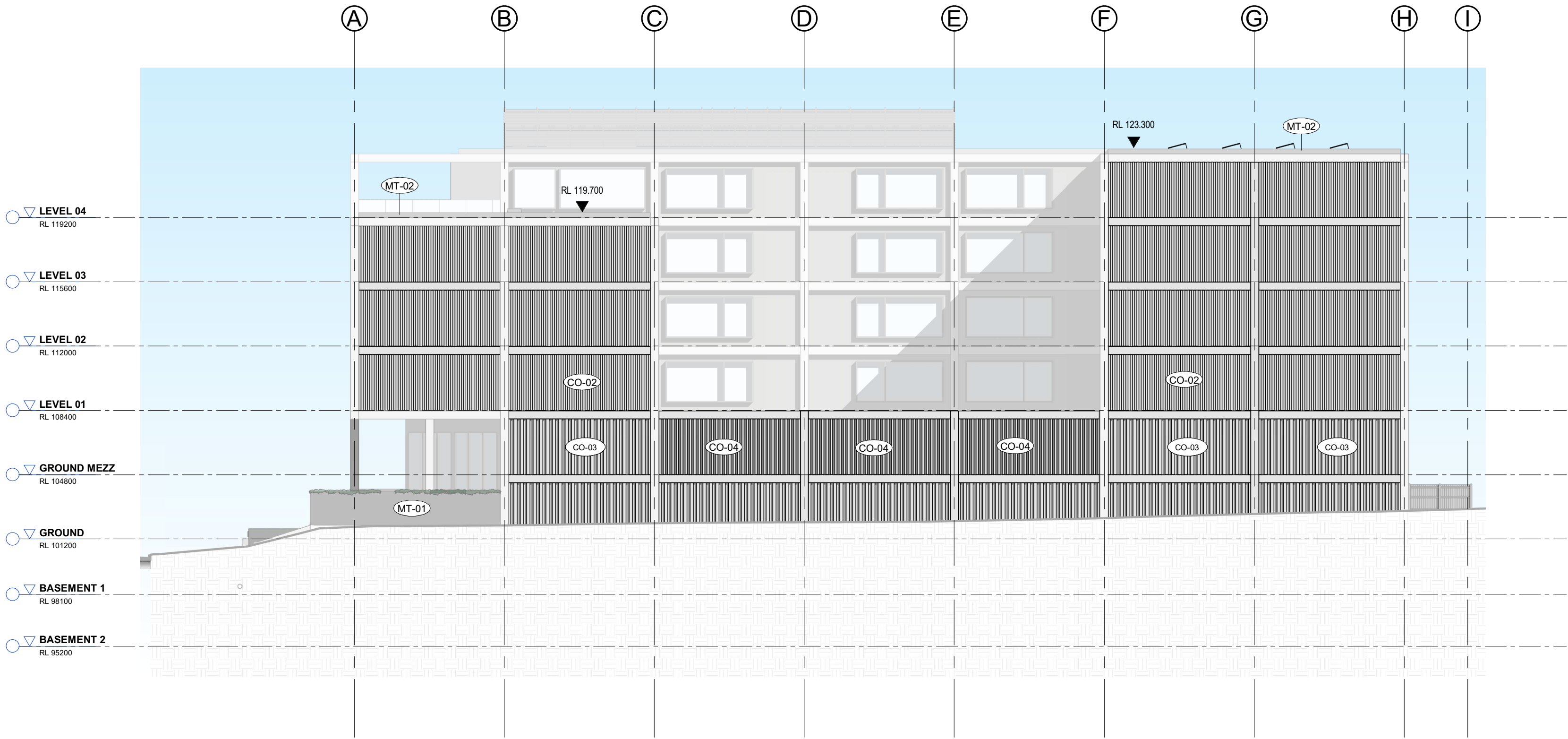
Client
TREND CONNECTIONS

Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

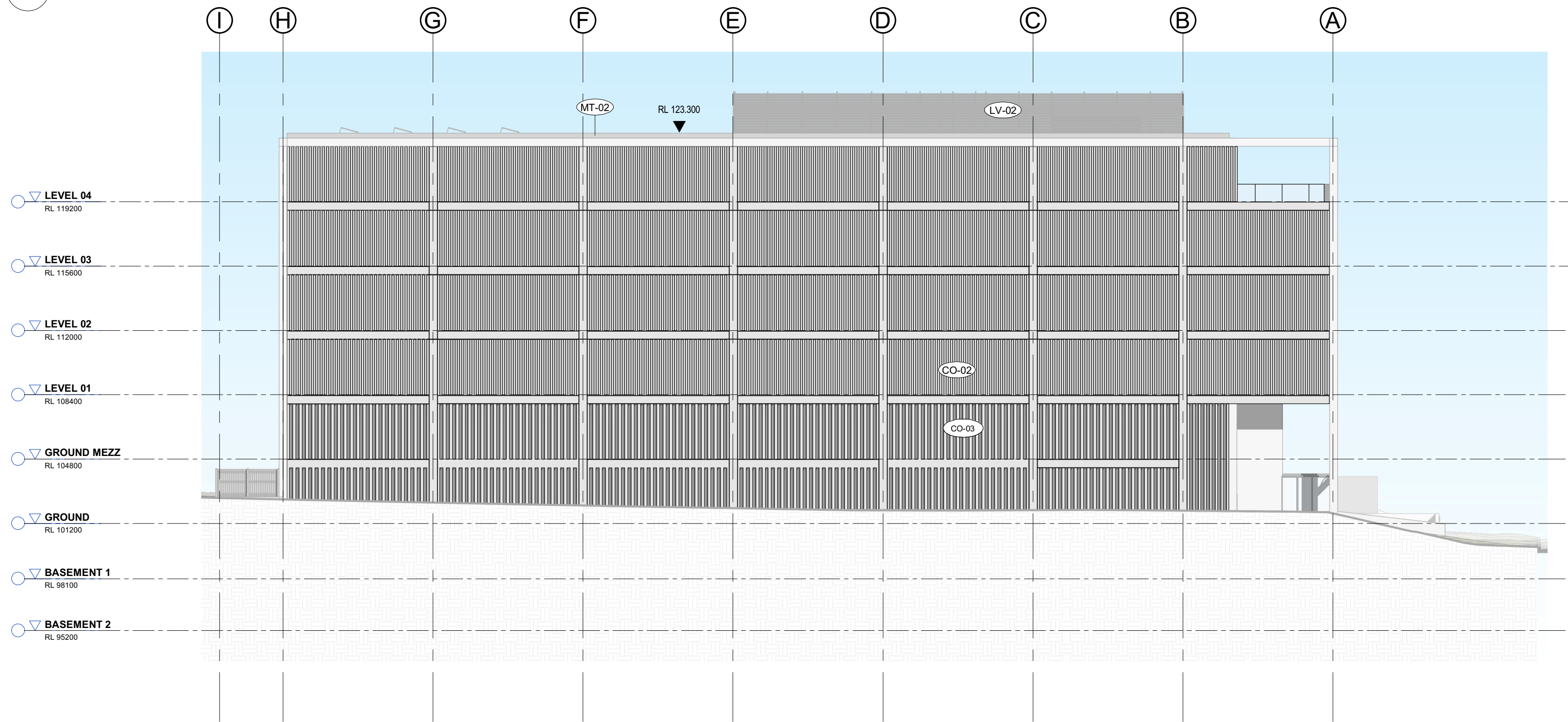
Title
EXTERNAL ELEVATIONS AND
MATERIAL PALLETTE

Drawing No. DA500	Issue B
Scale 1 : 200	Drawing Size A1
Project No. 21034	Drawn By CLT

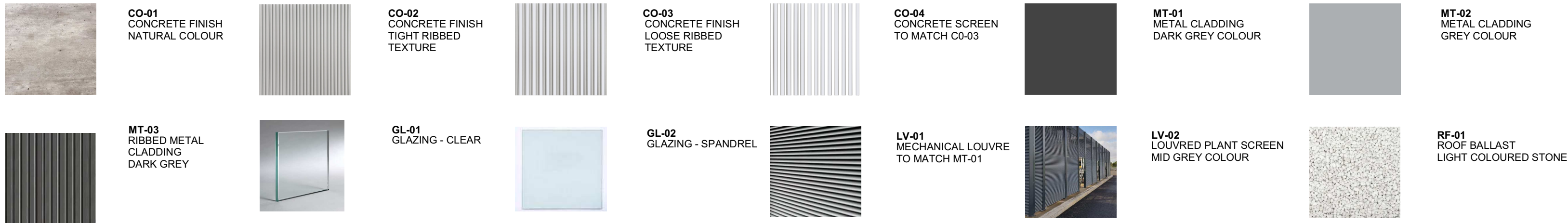
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Dimensioned Drawings to take precedence over scaling. Contractor to verify all dimensions on site before construction. All inconsistencies to be reported to the Architect immediately. This drawing and its contents remain the copyright of WMK Architecture Pty Ltd. ©



1 NORTH ELEVATION



2 SOUTH ELEVATION



MATERIAL LEGEND

Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22
C	AMENDED FOR DA APPROVAL	31.08.22

NOTES

ALL AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED TO REVIEW DIMENSIONS.

REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION



Client
TREND CONNECTIONS

Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

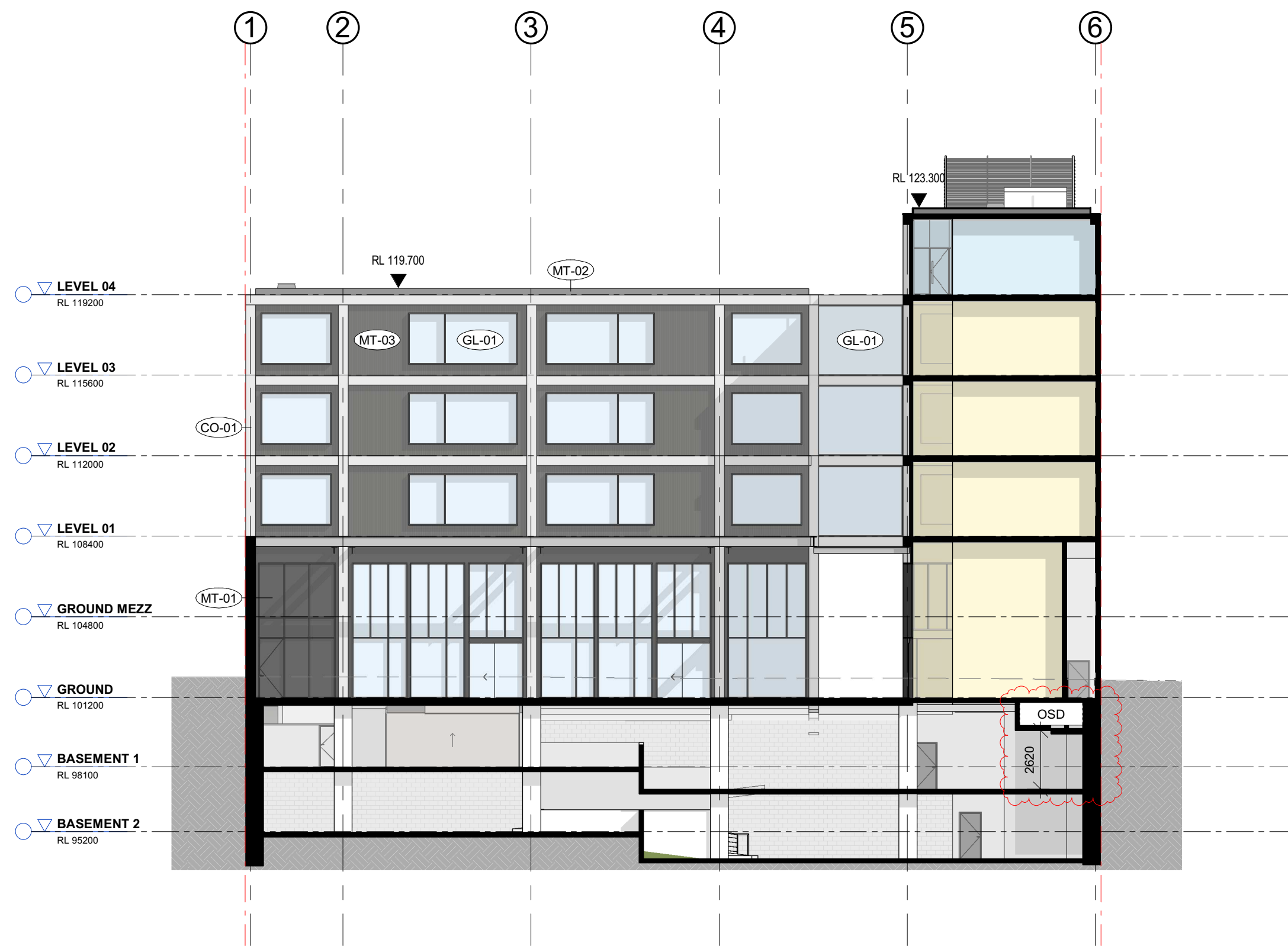
Title
EXTERNAL ELEVATIONS AND
MATERIAL PALLETTE

Drawing No. DA501	Issue C
Scale 1 : 200	Drawing Size A1
Project No. 21034	Drawn By CLT

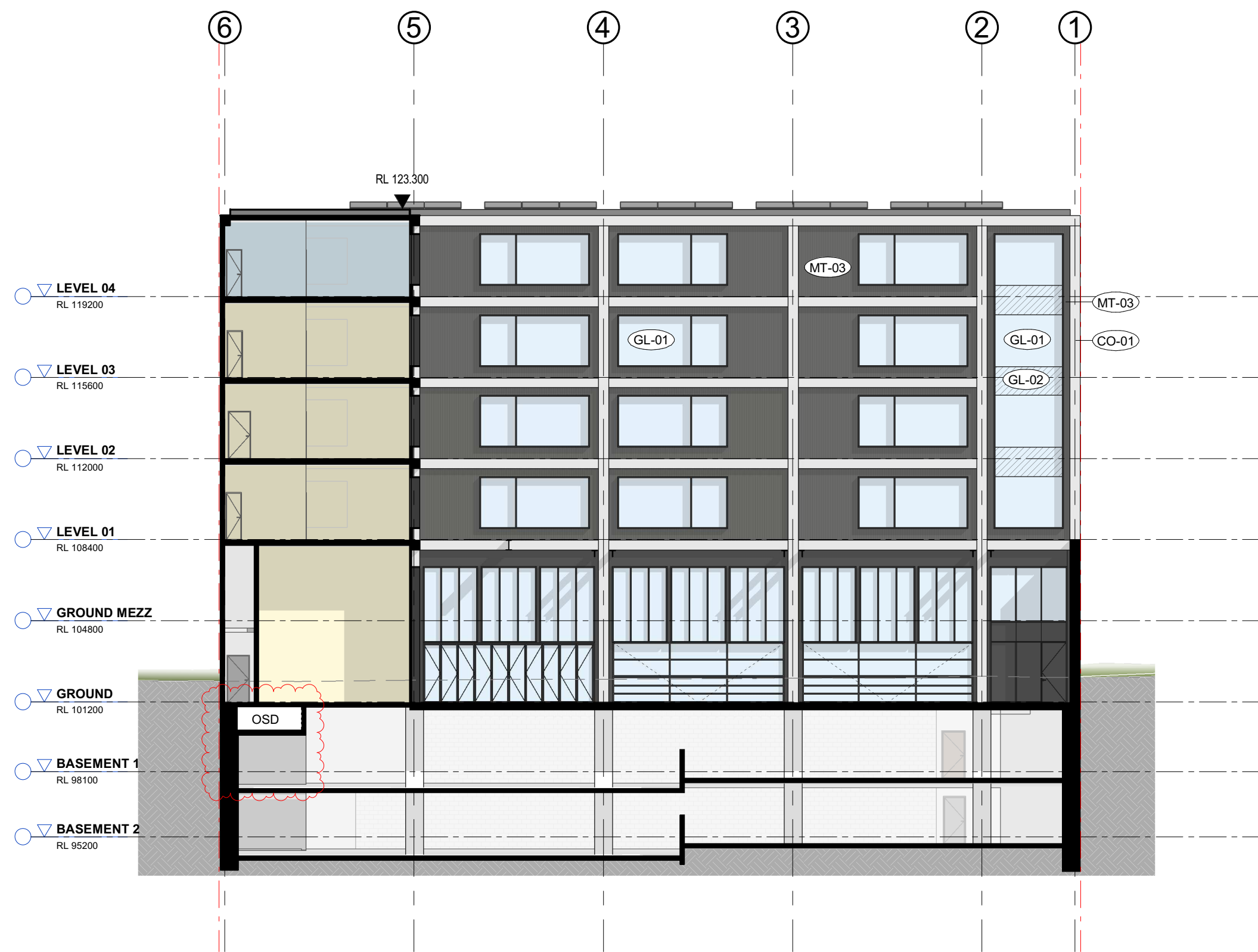
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31/08/2022 2:55:37 PM

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1 NORTH SOUTH SECTION



2 SOUTH NORTH SECTION

Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22

NOTES

ALL AREAS QUOTED ARE APPROXIMATE ONLY. FOR ACCURATE AREA MEASUREMENTS, A LICENSED SURVEYOR MUST BE ENGAGED TO REVIEW DIMENSIONS.

REFER TO THE COVER SHEET A001 FOR COMPLIANCE NOTES

DEVELOPMENT APPLICATION
ONLY
NOT FOR CONSTRUCTION



Client
TREND CONNECTIONS

Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

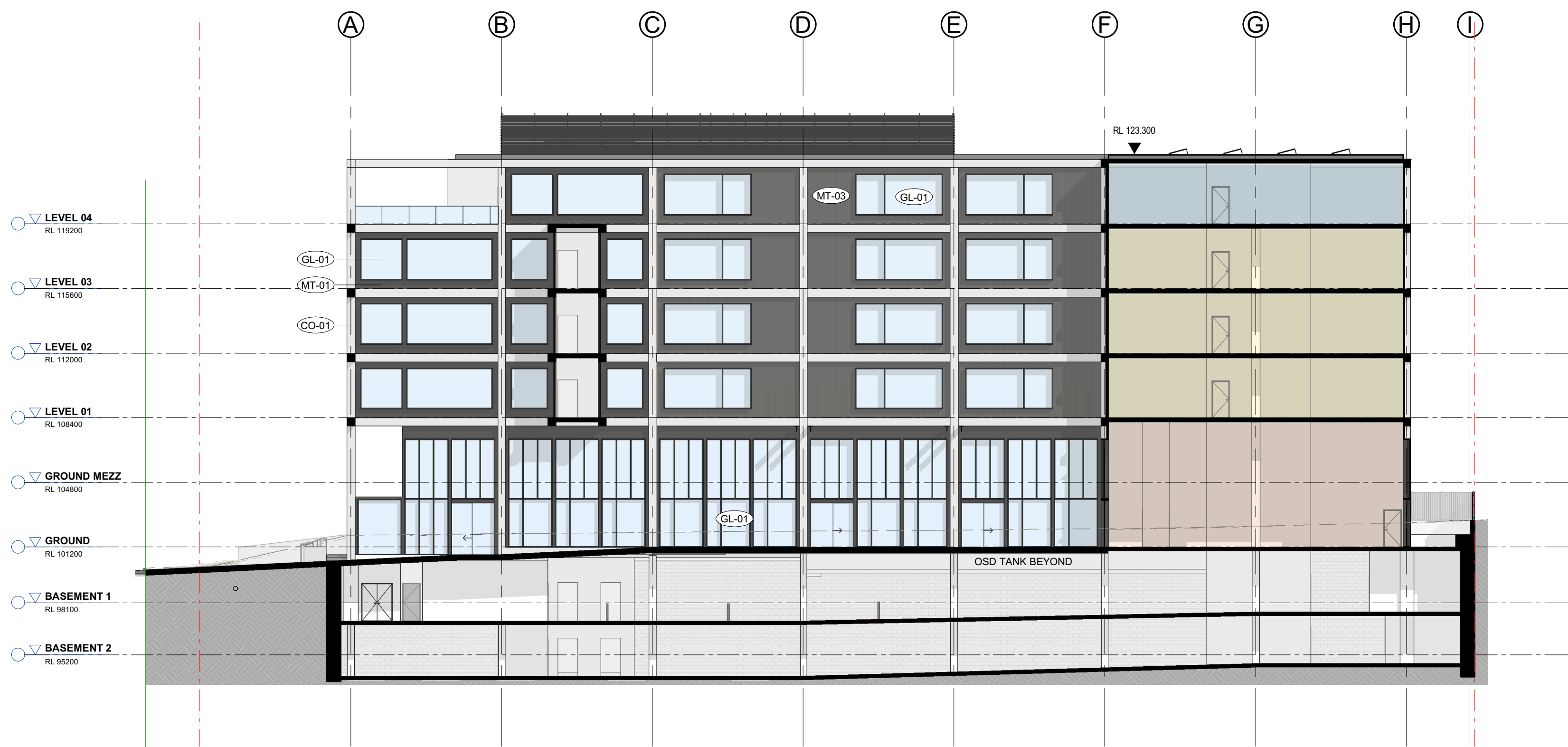
Title
BUILDING SECTIONS

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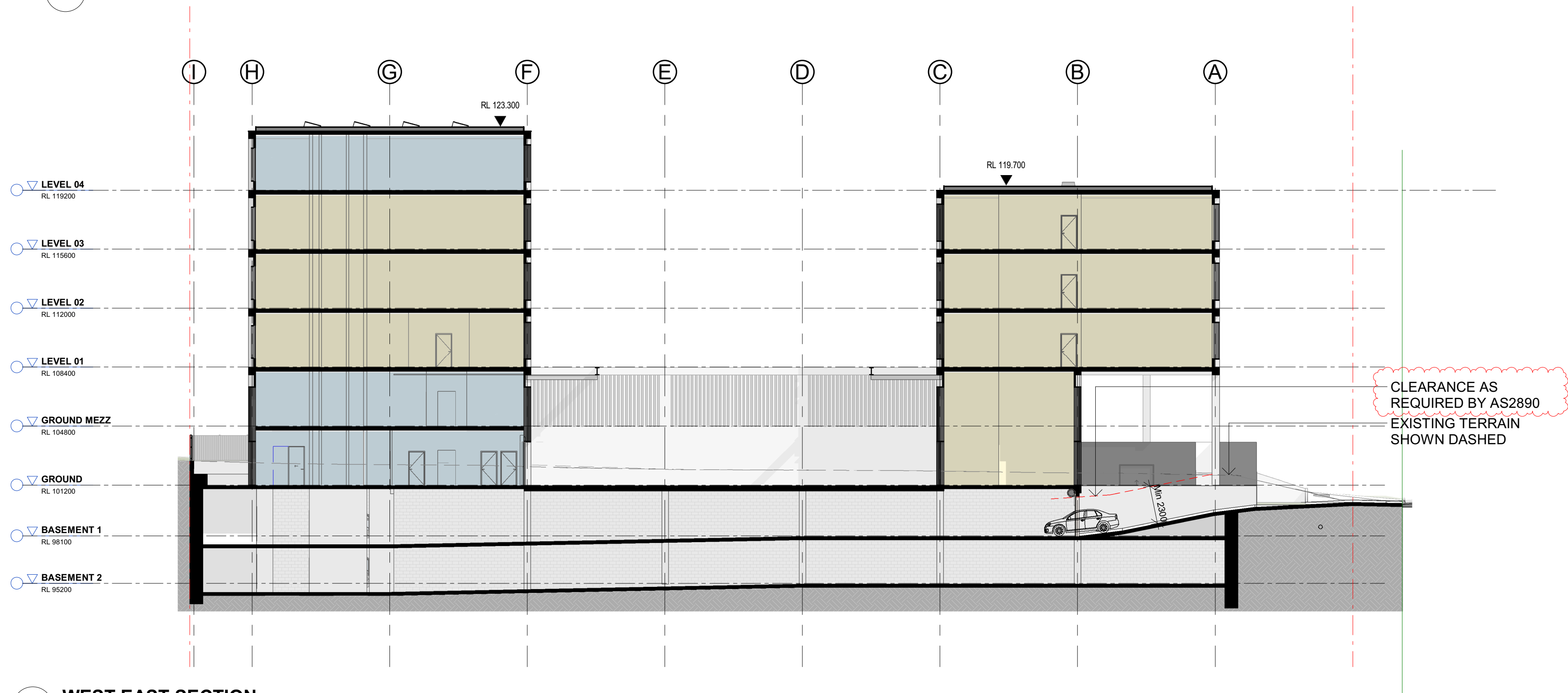
CAD Reference

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1 EAST WEST SECTION



2 WEST EAST SECTION

Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22

NOTES

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Client
TREND CONNECTIONS

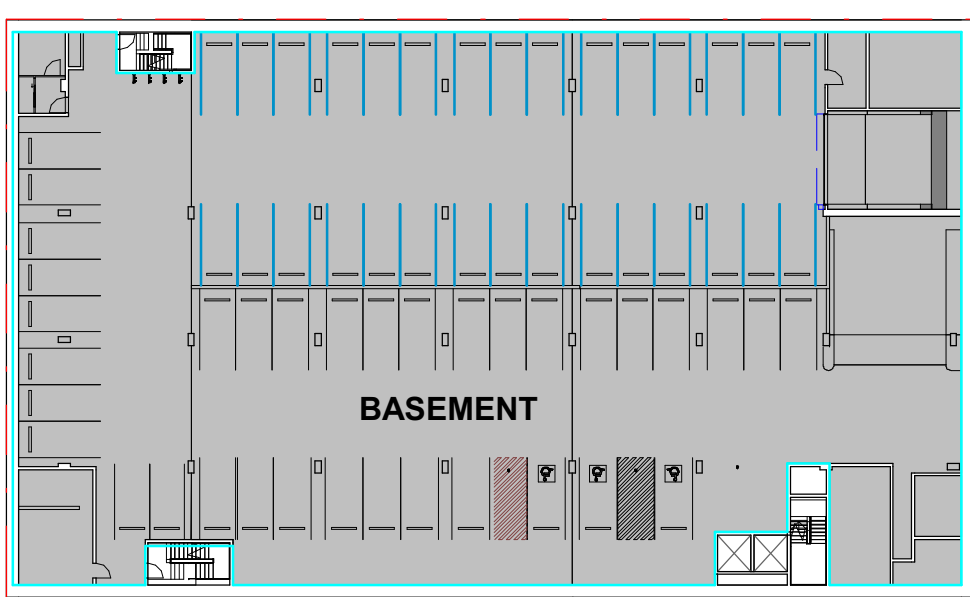
Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

Title
BUILDING SECTIONS

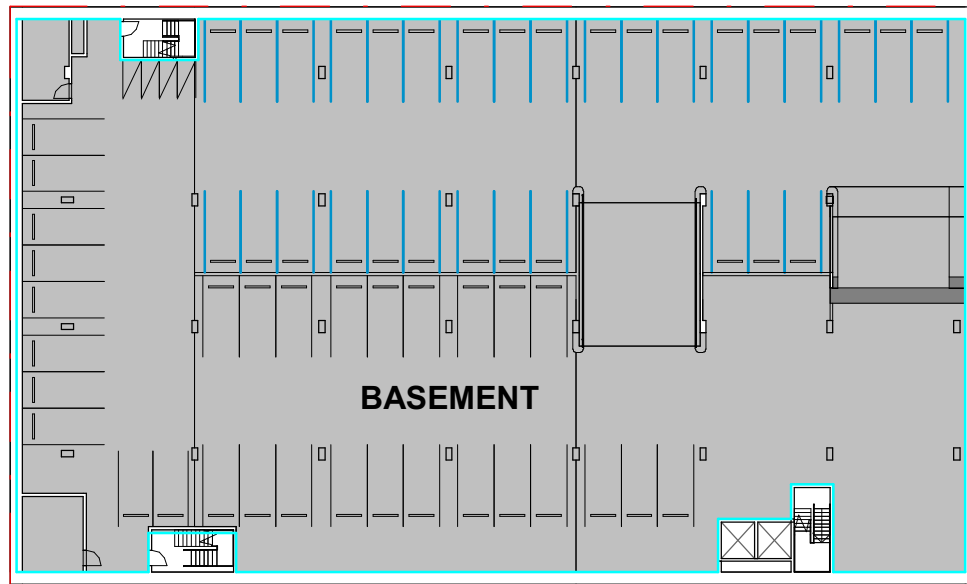
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Project No. 21034	Drawn By CLT

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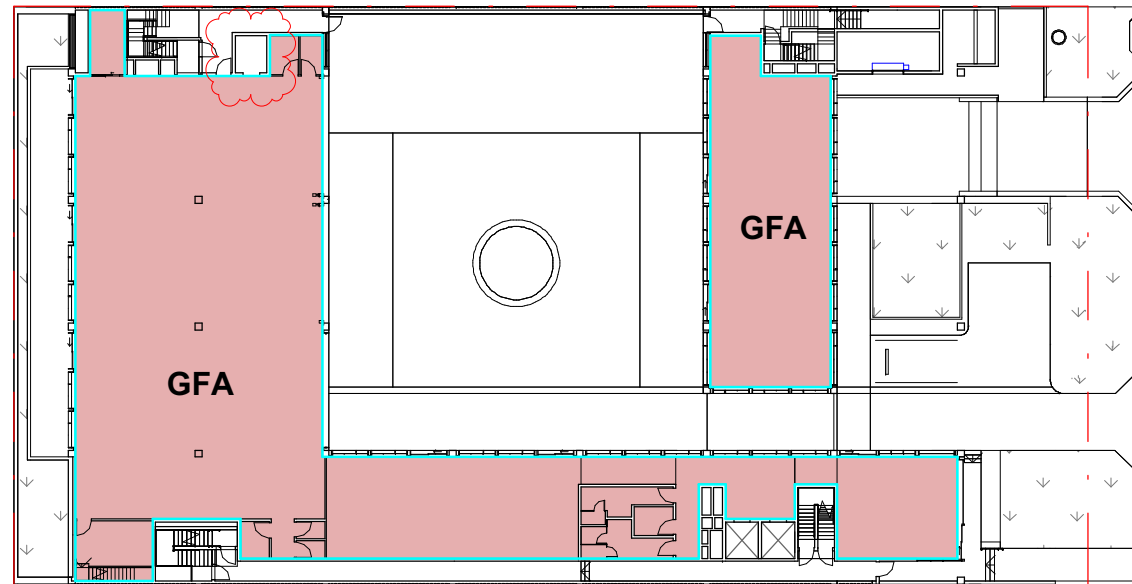
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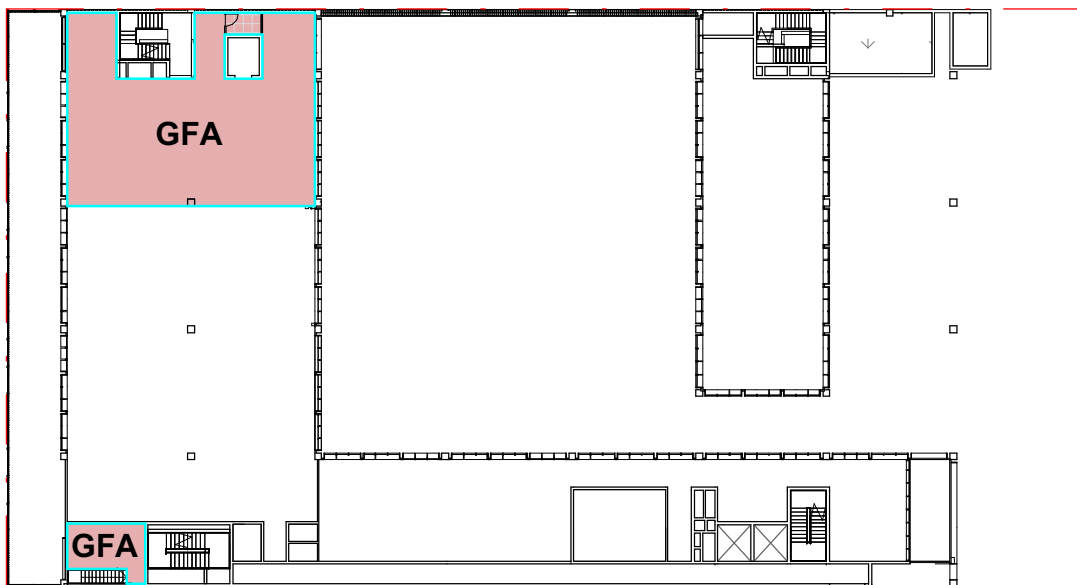
1 BASEMENT 1_GFA



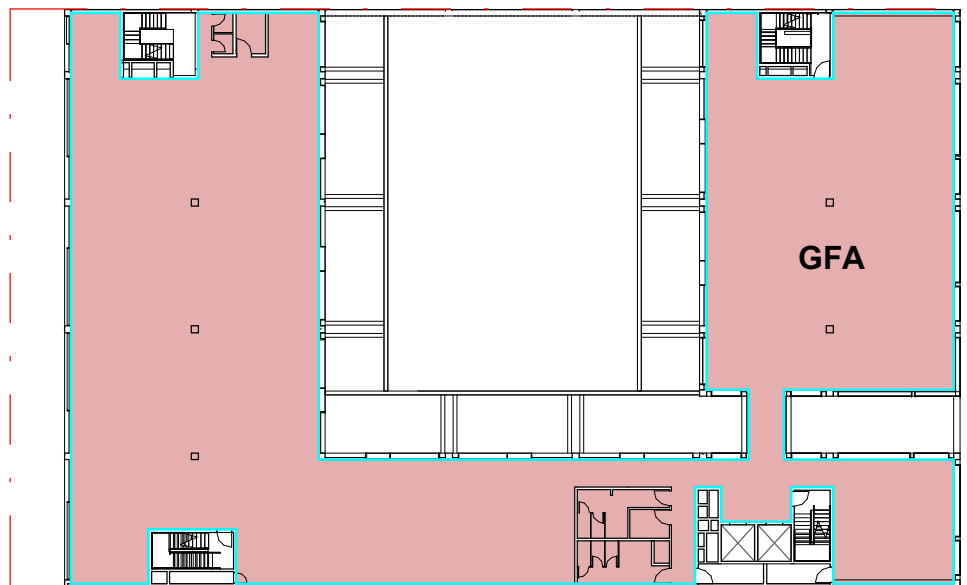
2 BASEMENT 2_GFA



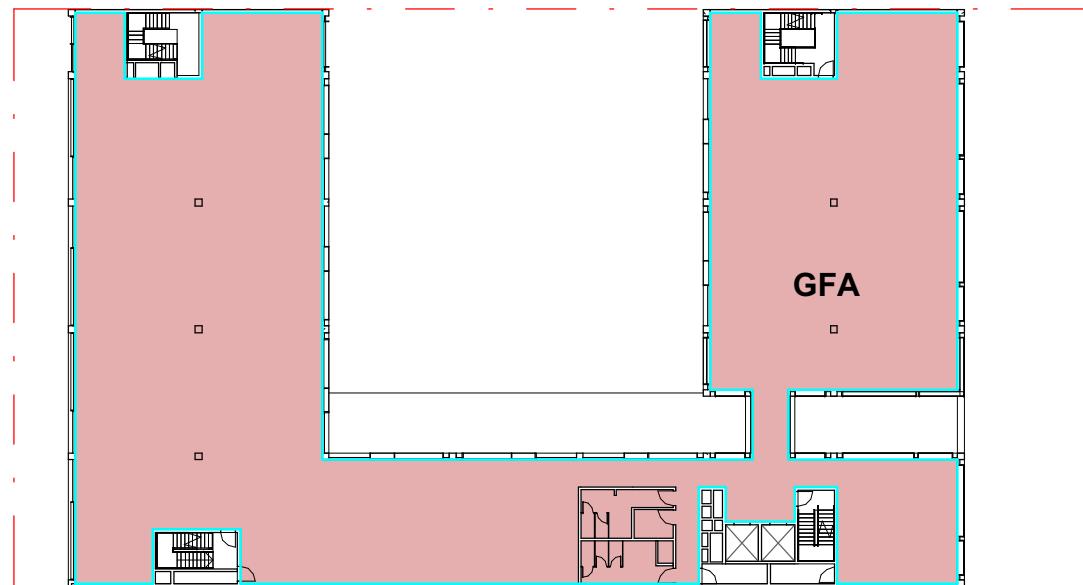
3 GROUND FLOOR_GFA



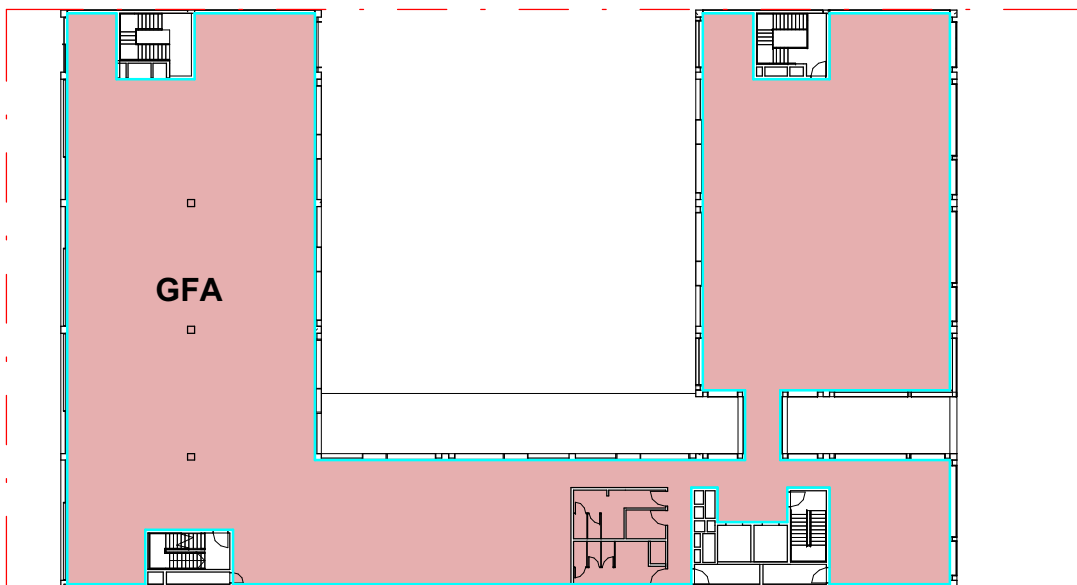
4 GROUND MEZZ_GFA



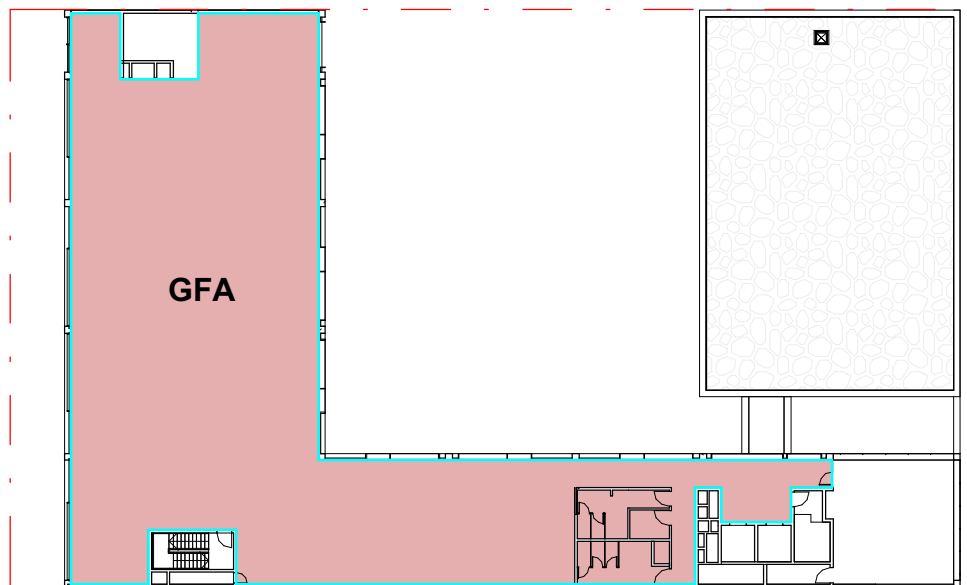
5 LEVEL 01_GFA



6 LEVEL 02_GFA



7 LEVEL 03_GFA



8 LEVEL 04_GFA

GROSS FLOOR AREA		
Level	TYPE	Area
BASEMENT 1	BASEMENT	2227 m²
BASEMENT 2	BASEMENT	2233 m²
BASEMENT		4460 m²
GROUND	GFA	780 m²
GROUND	GFA	172 m²
GROUND MEZZ	GFA	17 m²
GROUND MEZZ	GFA	179 m²
LEVEL 01	GFA	1267 m²
LEVEL 02	GFA	1267 m²
LEVEL 03	GFA	1267 m²
LEVEL 04	GFA	805 m²
GFA		5755 m²
SITE AREA		2714 m²
FSR		2.12:1

Issue	Description	Date
A	ISSUED FOR DEVELOPMENT APPROVAL	10.03.21
B	AMENDED FOR DA APPROVAL	22.06.22

NOTES

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NOT FOR CONSTRUCTION



Client
TREND CONNECTIONS

Project
PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

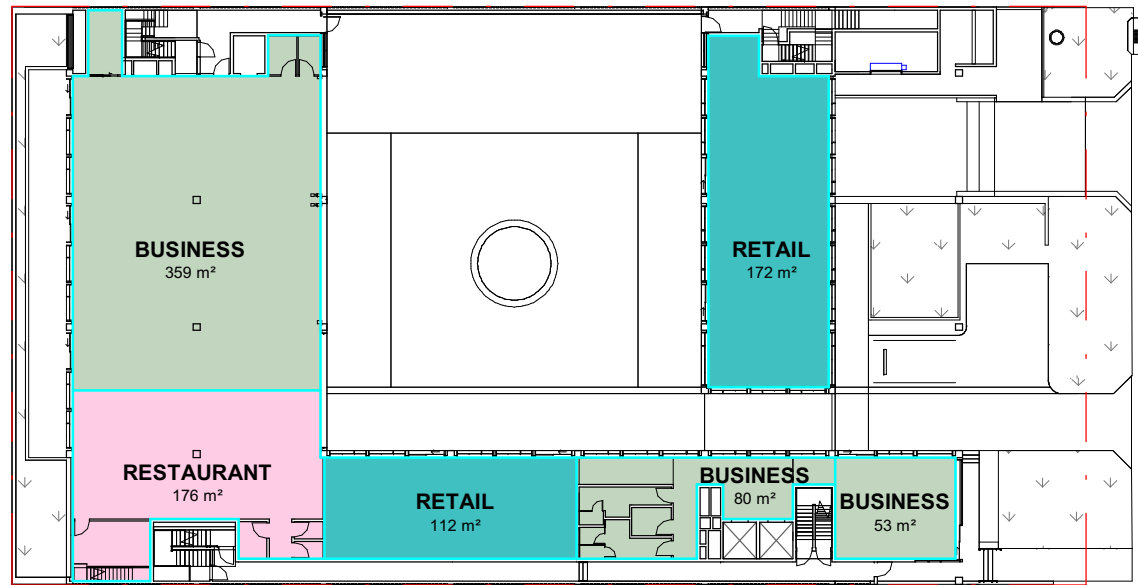
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GFA CALCULATIONS

Drawing No. DA990	Issue B
Scale 1 : 500	Drawing Size A1
Project No. 21034	Drawn By CLT

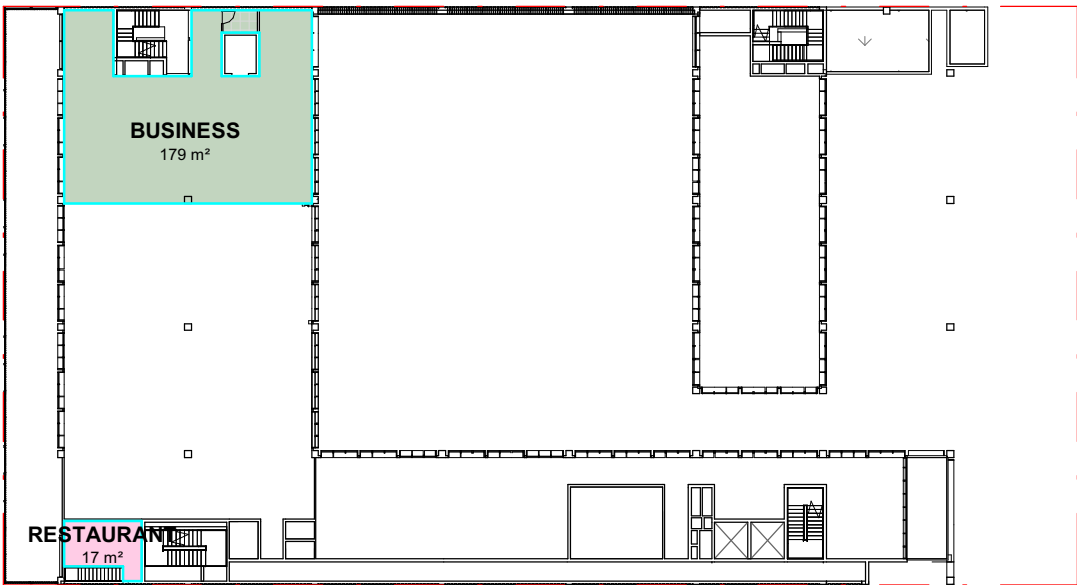
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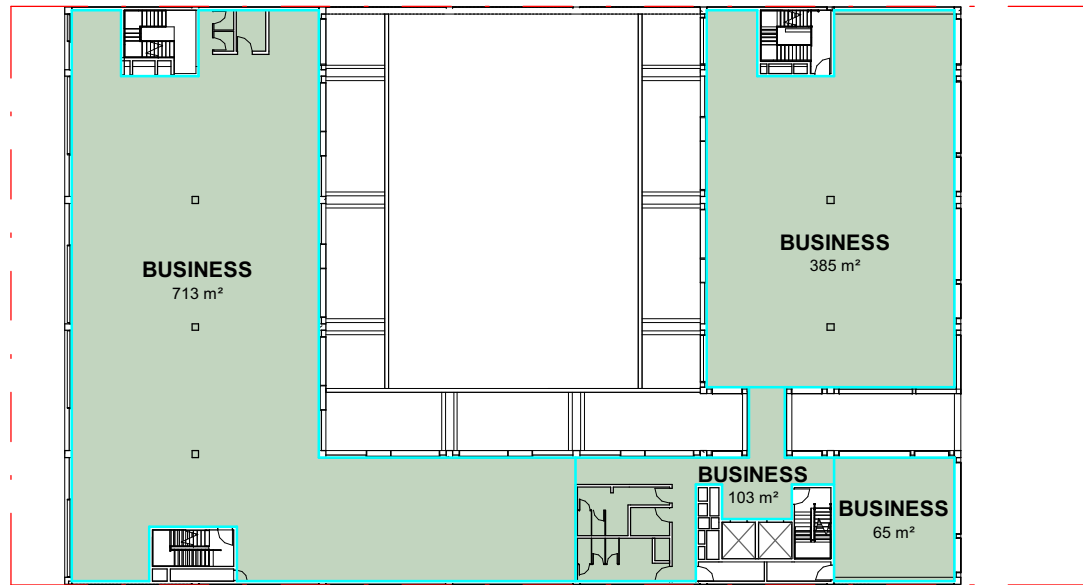
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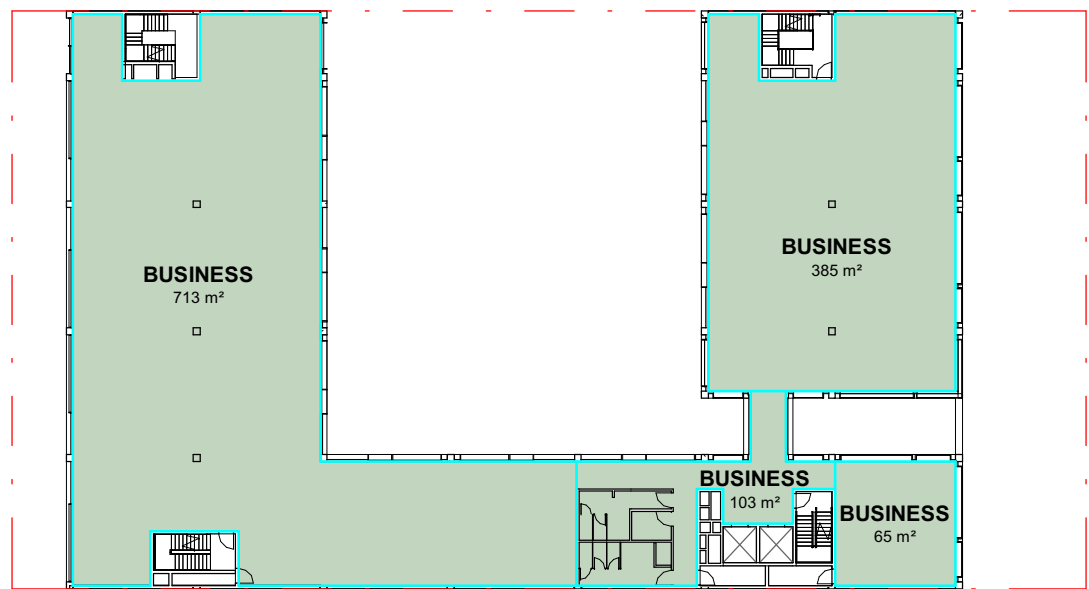
1 GROUND



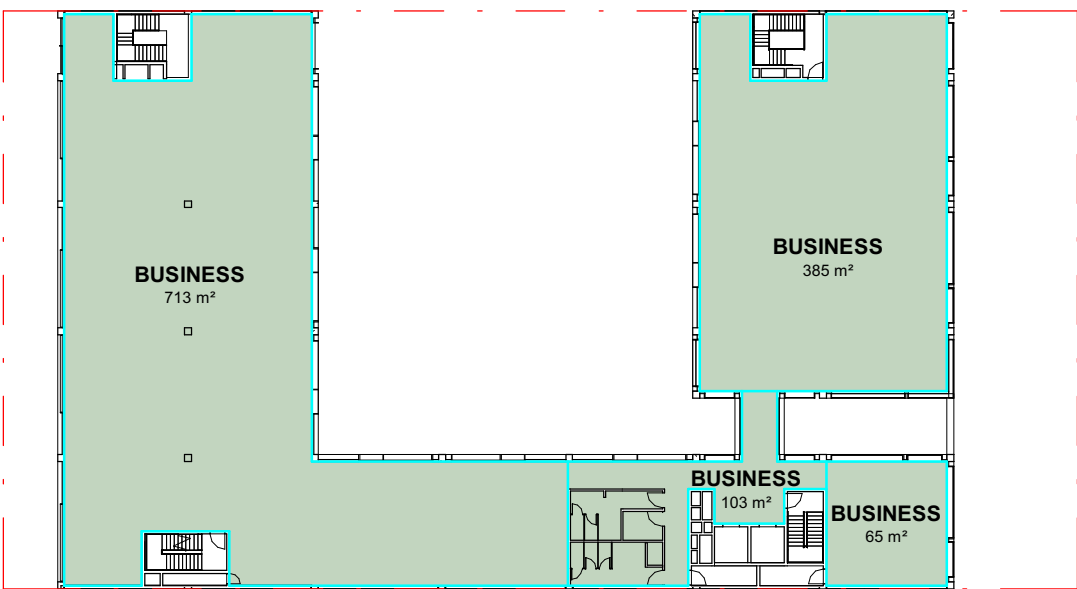
2 GROUND MEZZ



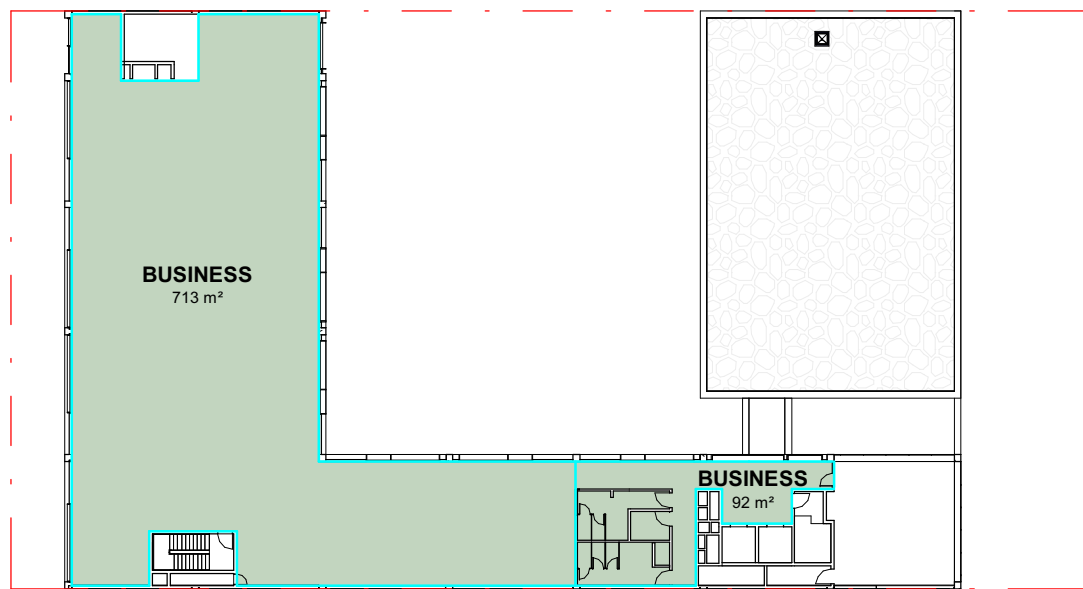
3 LEVEL 01



4 LEVEL 02



5 LEVEL 03



6 LEVEL 04

Total Areas by Type	
Name	Area
BUSINESS	5279 m²
RESTAURANT	193 m²
RETAIL	284 m²
5755 m²	

Issue

Description

Date

A

AMENDED FOR DA APPROVAL

22.06.22

NOTES

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0

5

10

15

20m

1:500

WMK

WMK Architecture
L2 364 Kent Street
Sydney NSW 2000
Telephone 02 9299 0401
Facsimile 02 9299 0402
wmkarchitecture.com
ABN 25 082 956 929

Client

TREND CONNECTIONS

Project

PROJECT ZOMAYA
8 LASSO RD, GREGORY HILLS

Title

GFA CALCULATIONS BY USE

Drawing No.

DA991

Issue

A

Scale

1 : 500

Drawing Size

A1

Project No.

21034

Drawn By

CLT

CAD Reference

22/06/2022 9:06:22 AM

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8 Lasso Road
GREGORY HILLS, NSW, 2123

LANDSCAPE DEVELOPMENT APPLICATION_E

DATE: 18 AUGUST 2022

COUNCIL:



ARCHITECT:



2 Contents








03	Design Statement
04	Landscape Masterplan
05	Landscape Section A
06	Landscape Section B
07	Materials and Lighting Palette
08	Indicative Planting palette

Landscape Appendix

General Legend

Revisions

400	Planting Schedule
401	Planting Plan 1 of 1
701	Landscape Details
800	Landscape Specification

	Boundary Line		Proposed Levels (Arch)
	Existing Tree		Proposed Levels (Arch)
	Proposed Trees		Top of Wall
	Shrubs and Groundcovers		

Issue	Title	Date	Prepared	Chkd
A	Landscape Concept	06 August 2021	DO	CT
A	Landscape DA	04 March 2022	DO	CT
B	Landscape DA	07 March 2022	DO	CT
C	Landscape DA	11 March 2022	DO	CT
D	Landscape DA	17 June 2022	DO	CT
E	Landscape DA	18 August 2022	DO	CT

3 Design Statement

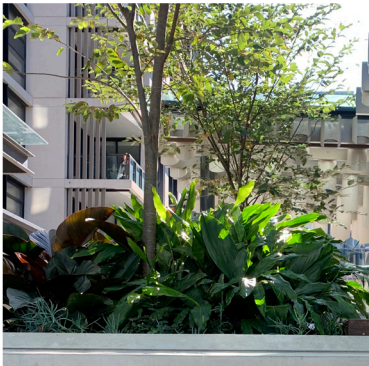
The overall landscape design for this site, is to show character through the use of an industrial materials palette and predominantly a native planting palette

Landscape amenities within the ground floor spaces will include:

- a place to gather
- a place to sit and relax
- a place to socialise
- a place to work
- a place to be in the sun or in the shade / undercover
- a place to hold events both day and night



multi
functional



Open
Spaces



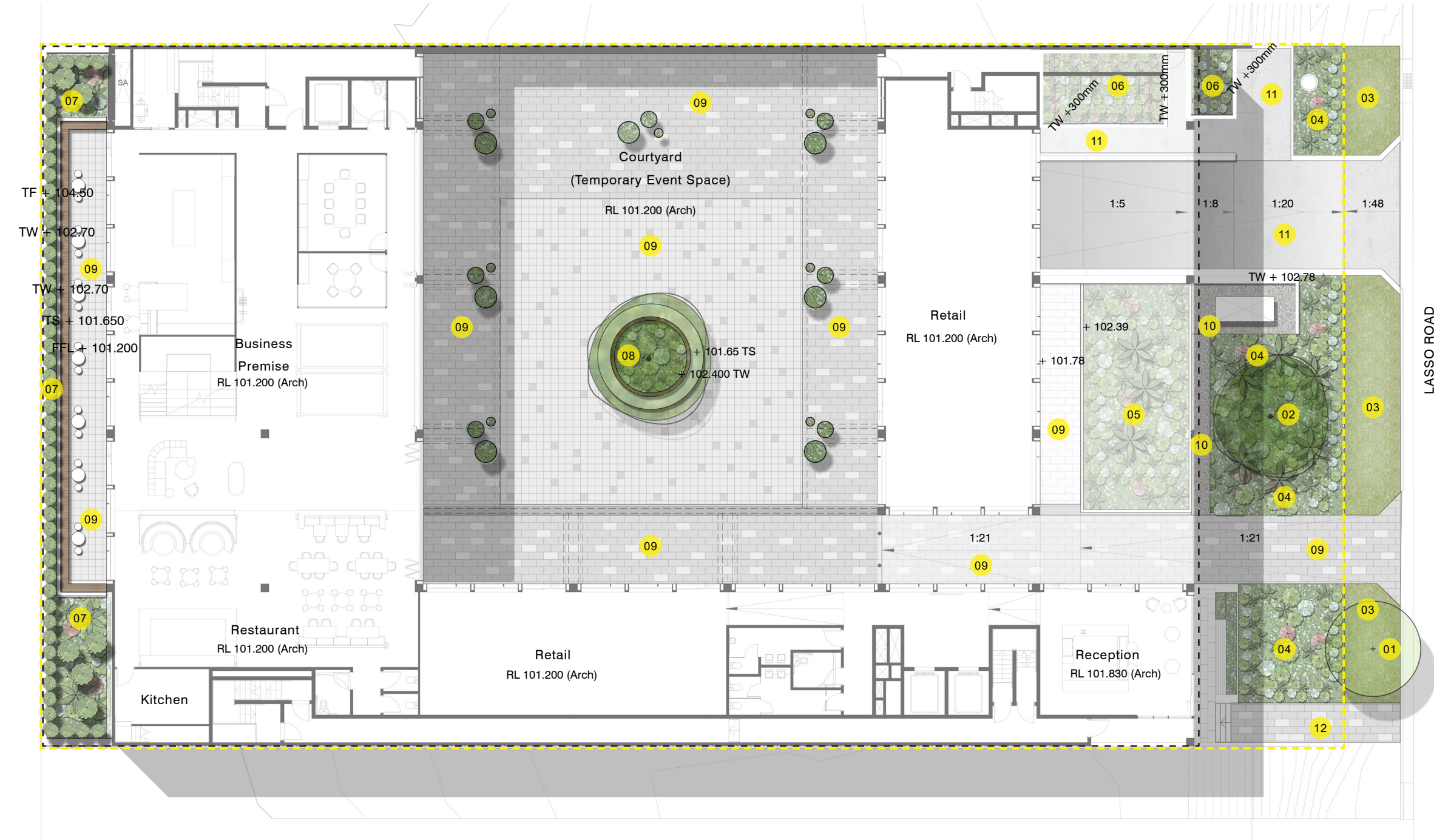
4 Landscape Master Plan

Legend

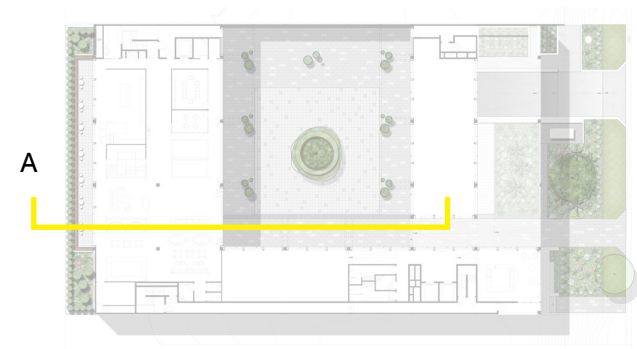
- 01 Existing street tree to Lasso Road.
Tree to remain and not be removed.
- 02 Proposed street tree to Lasso Road frontage.
- 03 3m turf verge to Lasso Road.
- 04 Planting works to development frontage.
Garden beds to be planted with a mixture of low water native and wsud plant species and feature shrubs.
- 05 Feature planting within raised planter.
- 06 Feature planting on top of Bin Store and feature planting on top of Booster Cabinet.
- 07 Raised planter with built in edge seating wall to property boundary with bamboo screening with 1.8m high pallisade fence fixed to top.
- 08 Proprietary raised planter. Raised planter to contain feature tree with understorey planting.
Seating height: 450mm
Planter wall / Backrest Height 1200mm
- 09 Pavement with variations in size and laid format and clear delineations between vehile and pedestrian zones.
- 10 Gravel path & gravel to surrounds of Kiosk
- 11 Concrete footpaths & driveway (By Others).
- 12 Pedestrian entry to reception

--- Property Boundary
--- Extents of Basement (Architects)

Scale: 1:250 @A3



5 Landscape Section A



Section Reference Plan

Legend

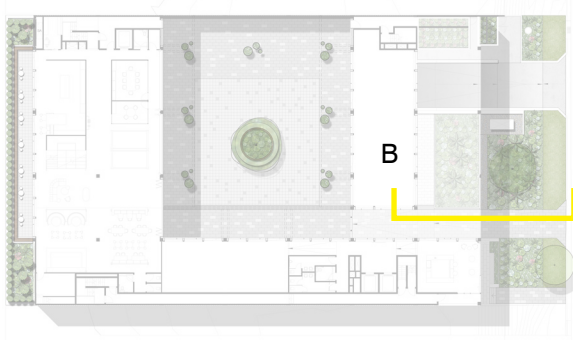
- 01 Raised planter with built in edge seating wall to property boundary with bamboo screening with 1.8m high pallisade fence fixed to top.
- 02 Raised planter to contain feature tree with understorey planting and seating edge. Seating height: 450mm Planter wall / Backrest Height 1200mm
- 03 Movable planters / pots
- 04 Pergola structure to Arch detail
- 05 Solid boundary wall



Central Seating Element



Section A - Southern Boundary and Central Courtyard
Scale: 1:125 @A3



Section Reference Plan

- Legend
- 01 Proposed street tree to Lasso Road frontage.
 - 02 3m turf verge to Lasso Road.
 - 03 Planting works to development frontage. Garden beds to be planted with a mixture of low water native and wsud plant species and feature shrubs.
 - 04 Feature planting within raised planter.
 - 05 Wall at rear to Arch detail
 - 06 Building Line
 - 07 Gravel path



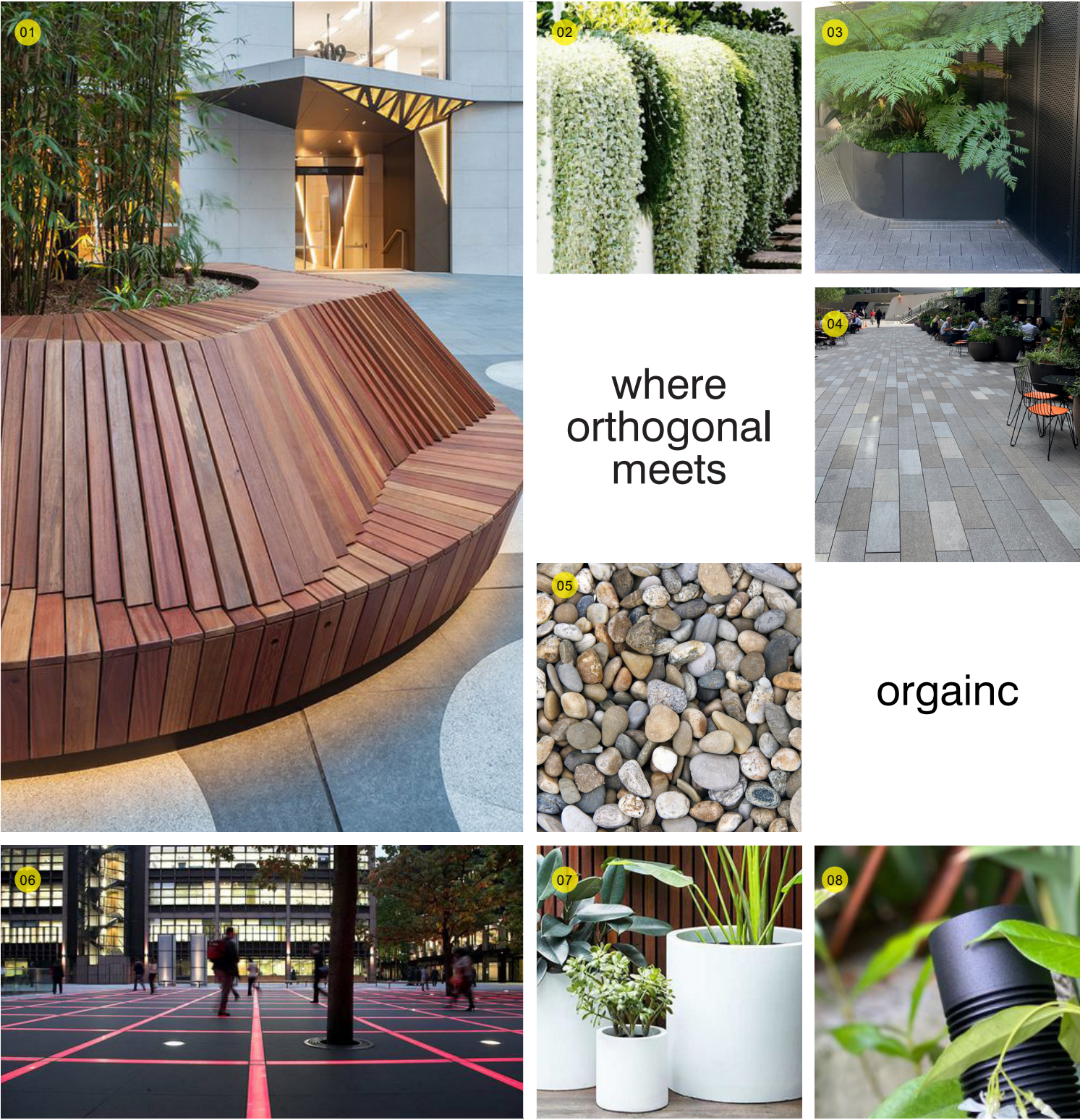
Section B - Southern Boundary and Central Courtyard
Scale: 1:125 @A3

Material Strategy

The character of this site will reflect the industrial Architectural palette of predominantly steel, concrete and glass to achieve a unifying flow between indoors and out. Natural finishes within the landscape will help this landscape design fit within its context.

Legend

- 01 Raised planter with seating element (Central Courtyard)
- 02 Raised planter (Front & Back of Development)
- 03 Raised planter and plantings (Front & Back of Development)
- 04 Feature Paving (Central Courtyard & Surrounds)
- 05 Decorative Gravel (Surrounds of Kiosk)
- 06 In Ground LED Lighting (Central Courtyard)
- 07 Decorative pots with plants (Central Courtyard)
- 08 Garden up lighting (Site Wide)



where
orthogonal
meets

orgainc

Planting Character

Low maintenance planting clearly defined garden beds and areas are proposed. Planting will be functional but also create an effective aesthetical outcome.
Feature plantings will reinforce the local character and bring rich texture and diversity to garden beds adjacent paths and common spaces.

Legend

- 01 Feature Ex Ground Tristaniopsis ‘Luscious’
- 02 Bamboo Screening
- 03 Groundcovers
- 04 Grasses and Rushes
- 05 Low Groundcovers
- 06 Shade tolerant species
- 07 Shrubs and Accents



8 Lasso Road

GREGORY HILLS, NSW, 2123

LANDSCAPE APPENDIX

400	Planting Schedule
401	Planting Plan 1 of 1
701	Landscape Details
800	Landscape Specification

Code	Botanic Name	Common Name	Mature Size (H x W)	Proposed Pot Size	Quantity
------	--------------	-------------	---------------------	-------------------	----------

Trees + Palms

TI	<i>Tristaniopsis 'Luscious'</i>	Luscious Water Gum	10 x 5	100L	1
TI	<i>Tristaniopsis 'Luscious'</i>	Luscious Water Gum	Ex Ground	Ex Ground	1



Tristaniopsis 'Luscious'

Shrubs + Accents

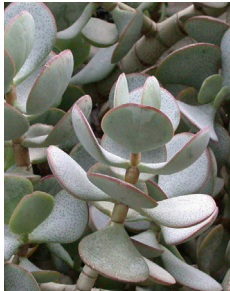
At	<i>Anigozanthus flavidus</i>	Kangaroo Paw	1 x 2	200mm	17
Btg	<i>Bambusa textilis gracilis</i>	Slender Weavers Bamboo	8 x 2	300mm	43
Cbl	<i>Crassula ovata</i>	Blue Jade	1 x 1	200mm	2
Cc	<i>Cyathea cooperi</i>	Tree Fern	5 x 2	300mm	4
Crev	<i>Cycas revoluta</i>	Sago palm	1 x 1.5	300mm	5
De	<i>Doryanthes excelsa</i>	Gynea Lily	3 x 1.5	200mm	24
Crb	<i>Crassula aborescens</i>	Blue Jade	1 x 1	200mm	16
Kb	<i>Kalanchoe bracteata</i>	Kalanchoe	1 x 1	200mm	9
Mct	<i>Metrosideros collina tahiiti</i>	NZ Christmas Bush	1.5 x 1	200mm	22



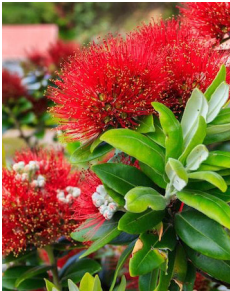
Anigozanthus flavidus



Doryanthes palmeri



Crassula aborescens



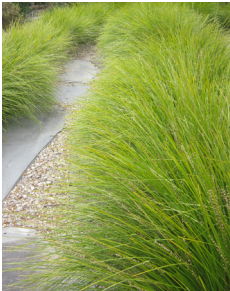
Metrosideros collina tahiiti



Philodendron xanadu

Grasses + Rushes / Wsud

Ct	<i>Carex tereticaulis</i>	Tall Sedge	1 x 1	150mm	20
La	<i>Lepironia articulata 'Grey Rush'</i>	Grey Rush	1.5 x 0.5	150mm	20
Lt	<i>Lomandra 'Tanika'</i>	Mat Rush	0.6 x 0.6	150mm	247
Lm	<i>Liriope muscari</i>	Lilyturf	0.4 x 0.4	150mm	298



Lomandra tanika



Liriope muscari



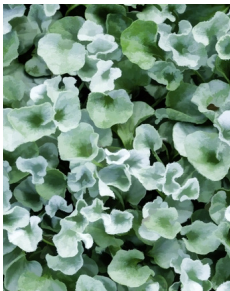
Carex tereticaulis



Lepironia articulata 'Grey Rush'

Groundcovers + Climbers

Dsf	<i>Dichondra repens 'Silver Falls'</i>	Kidney Weed Silver falls	0.2 x spreading	150mm	186
-----	--	--------------------------	-----------------	-------	-----



Dichondra repens 'Silver Falls'

LEGEND

ISSUE	REVISION DESCRIPTION	DRAWN	CHECK	DATE
A	DEVELOPMENT APPLICATION	DO	CT	04.03.2022
B	DEVELOPMENT APPLICATION	DO	CT	07.03.2022
C	DEVELOPMENT APPLICATION	DO	CT	11.03.2022
D	DEVELOPMENT APPLICATION	DO	CT	17.06.2022
E	DEVELOPMENT APPLICATION	DO	CT	19.08.2022

PROJECT
8 LASSO ROAD
GREGORY HILLS, NSW, 2123, AUSTRALIA

STAGE
DEVELOPMENT APPLICATION

CLIENT
ZOMAYA GROUP

SHEET
PLANTING SCHEDULE

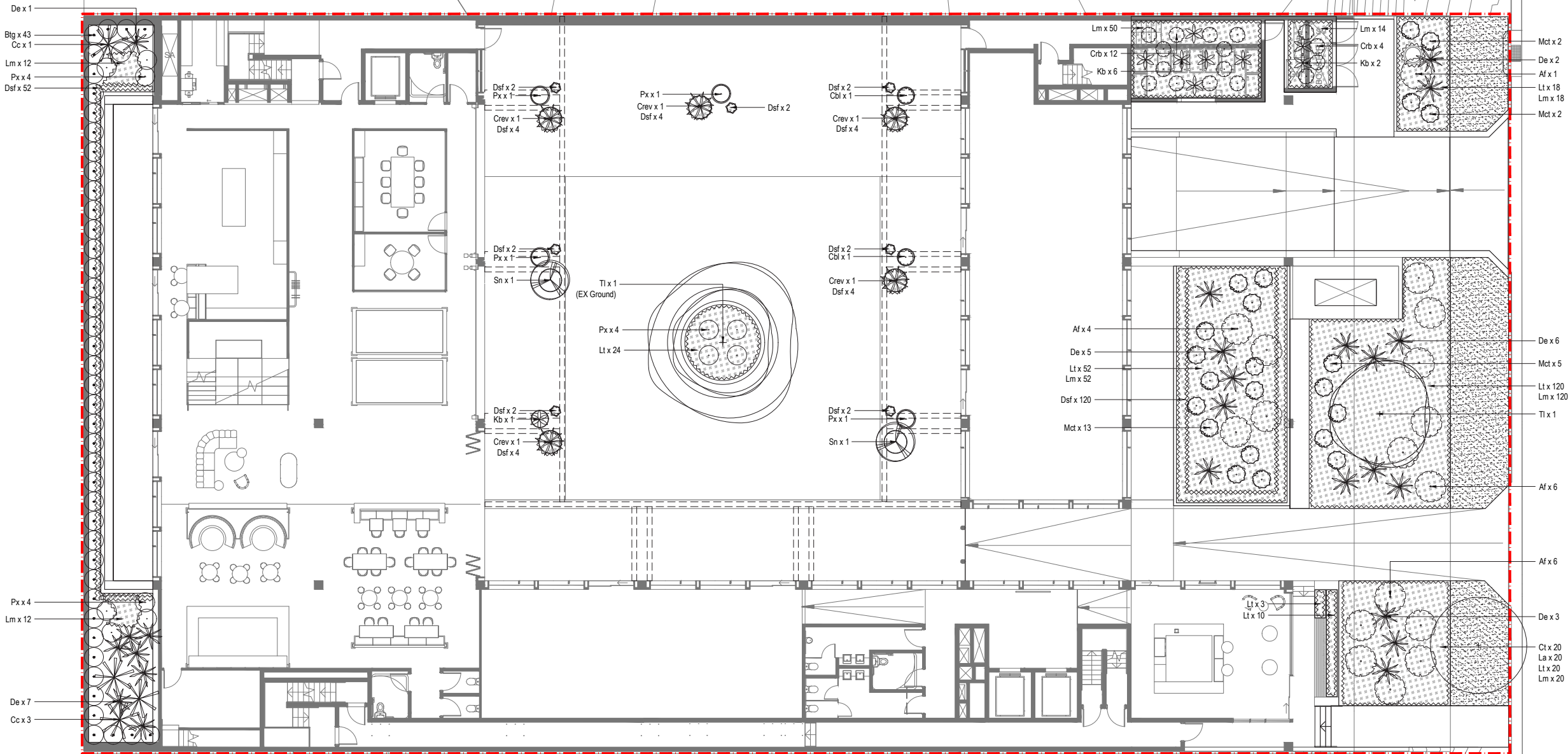
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21_232 400 E

SCALE N/A

LANDFX
LANDSCAPE ARCHITECTURE
Studio 7 | 37-38 East Esplanade Manly | Sydney | NSW 2095 | Australia
Phone +61 42476 9049 | Email info@landfx.com.au | Web www.landfx.com.au

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LEGEND



LA SSO ROAD

ISSUE	REVISION DESCRIPTION	DRAWN	CHECK	DATE
A	DEVELOPMENT APPLICATION	DO	CT	04.03.2022
B	DEVELOPMENT APPLICATION	DO	CT	07.03.2022
C	DEVELOPMENT APPLICATION	DO	CT	11.03.2022
D	DEVELOPMENT APPLICATION	DO	CT	17.06.2022
E	DEVELOPMENT APPLICATION	DO	CT	18.08.2022

PROJECT
8 LASSO ROAD
GREGORY HILLS, NSW, 2123, AUSTRALIA

STAGE
DEVELOPMENT APPLICATION

CLIENT
ZOMAYA GROUP

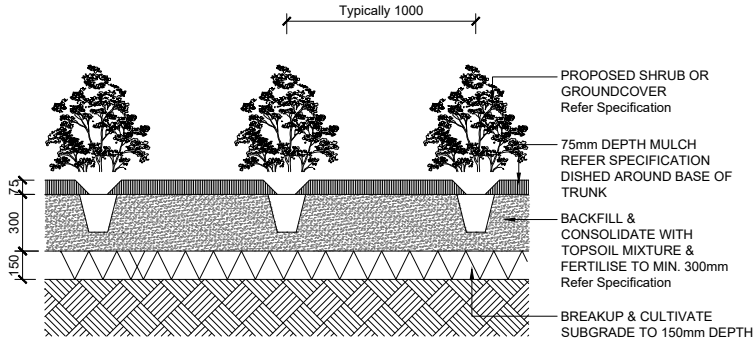
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PLANTING PLAN 1 OF 1

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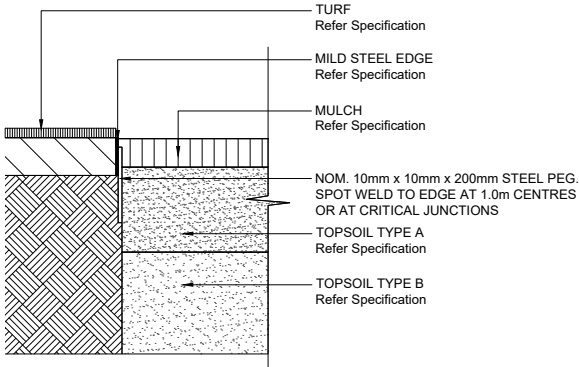
SCALE 1:250 @ A3

LANDFX
LANDSCAPE ARCHITECTURE
Studio 7 | 37-38 East Esplanade Manly | Sydney | NSW 2095 | Australia
Phone +61 42476 9049 | Email info@landfx.com.au | Web www.landfx.com.au

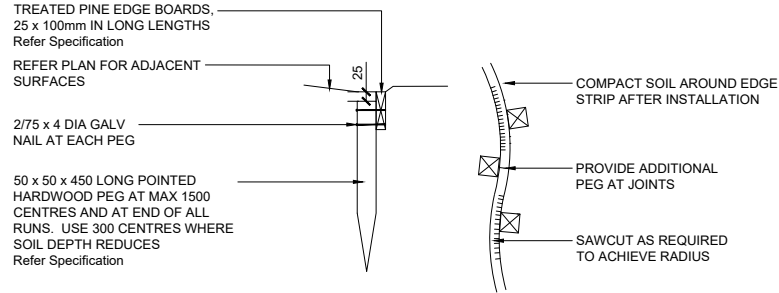
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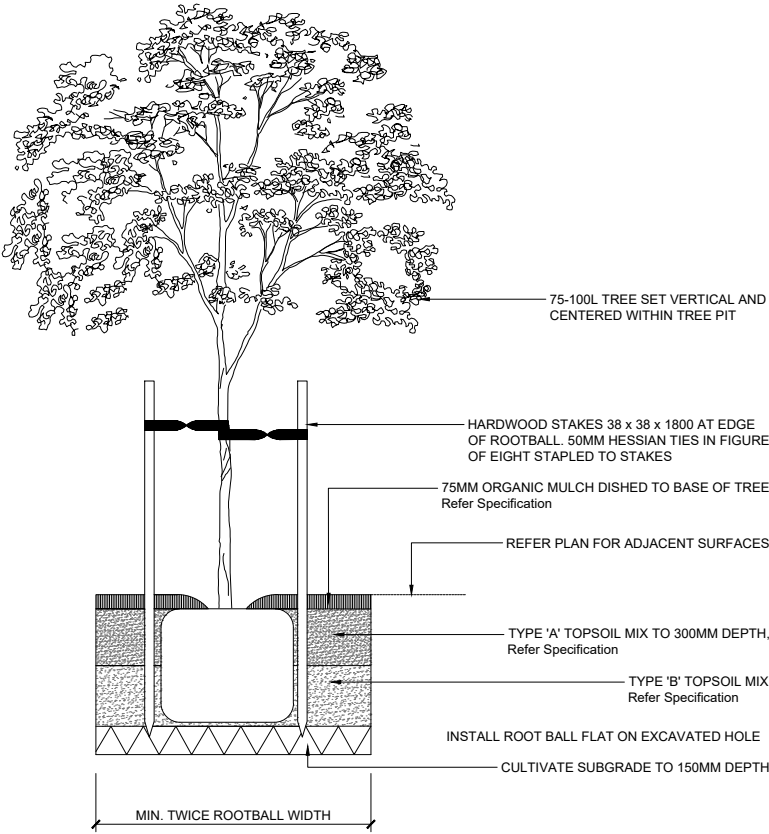
SHRUB PLANTING ON GRADE / 1:20 @ A3



STEEL EDGE ON GRADE 1:20 @ A3



TIMBER EDGE ON GRADE 1:20 @ A3



TYPICAL TREE ON GRADE / 1:50 @ A3

LEGEND

ISSUE	REVISION DESCRIPTION	DRAWN	CHECK	DATE
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D	DEVELOPMENT APPLICATION	DO	CT	17.06.2022
E	DEVELOPMENT APPLICATION	DO	CT	18.08.2022

PROJECT
8 LASSO ROAD
GREGORY HILLS, NSW, 2123, AUSTRALIA

STAGE
DEVELOPMENT APPLICATION

CLIENT
ZOMAYA GROUP

SHEET
LANDSCAPE DETAILS

JOB # SHEET # ISSUE NORTH
21_232 701 E

SCALE AS SHOWN

LANDFX
LANDSCAPE ARCHITECTURE
Studio 7 | 37-38 East Esplanade Manly | Sydney | NSW 2095 | Australia
Phone +61 42476 9049 | Email info@landfx.com.au | Web www.landfx.com.au

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Landscape specification notes

Services

Before landscape work is commenced the landscape contractor is to establish the Position of all service lines and ensure tree planting is carried out at least 3 metres Away from these services. Service lids, vents and hydrants shall be left exposed and not Covered by any landscape finishes (turfing, paving, garden beds etc.) Finish adjoining Surfaces flush with pit lids.

Aborist management of tree protection

A qualified and approved aborist is to be contracted to undertake or manage the Installation of protective fencing, and to undertake such measures as he deems appropriate to preserve the subject trees to be retained. The arborist is to be retained for the entire contract period to undertake ongoing management and review of the Trees.

Drainage cell and filter fabric

For on-slab areas install an approved 'drainage cell' product to comprehensively cover the bottom of all planters. Over drainage cell to on-slab areas, a polyfelt geotextile lining (as supplied by 'polyfelt ts' or approved equivalent) is to be installed to cover the bottom of all planters, turned up 300mm and taped to the planter sides to ensure soil mix does not escape into drainage outlets/holes. Install min. 50Mm coarse river sand over all geotextile lining prior to installation of soil mix.

Planting mixture

Shall be homogenous blend of soil and additives in the following proportions:
Existing site soil if suitable or imported topsoil 50% Compost 30% D/w sand 20% soil testing of existing site soil is to be undertaken to assess suitability of use as planting topsoil and compliance with Australian standards.(As4419 - soils for landscaping)

Mulch application

Place mulch to the required depth, (refer to drawings) clear of plant stems, and rake to an even surface finishing 25mm below adjoining levels. Ensure mulch is watered in and tamped down during installation.

Mulch type

Forest litter or pine bark: from mature trees, graded in size from 15mm to 30mm, free from wood slivers. Dark brown in colour and texture.
All mulch to be free of deleterious material such as rock, soil, weeds and sticks

Compost

Shall be well rotted vegetative material or animal manure, or other approved material, free from harmful chemicals, grass and weed growth and with neutral ph. Provide a Certificate of proof of ph upon request.

Plant material

All plants supplied are to conform with those species listed in the plant schedule on the drawings. Generally plants shall be vigorous, well established, hardened off, of good form consistent with species or variety, not soft or forced, free from disease or insect pests with large healthy root systems and no evidence of having been restricted or damaged. Trees shall have a leading shoot. Immediately reject dried out, damaged or Unhealthy plant material before planting. All stock is to be container grown for a Minimum of six (6) months prior to delivery to site

Trees in grass and super advanced trees:

Pellets shall be in the form intended to uniformly release plant food elements for a period of approximately nine months equal to shirleys kokei pellets, analysis 6.3:1.8:2.9. Kokei pellets shall be placed at the time of planting to the base of the plant, 50mm minimum From the root ball at a rate of two pellets per 300mm of top growth to a maximum of 8 pellets per tree.
Tree trunks to be a minimum of 700mm from street kerb or guttering.
All tree planting holes are minimum 1.5M diameter and twice the depth of the rootball
Root directors
Install root directors to manufacturers specifications to protect assets, structures and underground services

Staking and tying

Stakes shall be straight hardwood, free from knots and twists, pointed at one end. Size shall be 2x38x38x1800mm and shall sit 600mm within ground. Secure the tree firmly with 2no. Hessianties fitted to the stem separately in opposite directions.
Of plants to be staked.
A. 5-15 Litre size plant 1x(1200x25x25mm)
B. 35-75 Litre size plant 2x(1500x38x38mm)
C. 100-Greater than 200litre 3x(1800x50x50mm)
Ties shall be 50mm wide hessian webbing or approved equivalent nailed or stapled to stake. Drive stakes a minimum one third of their length, avoiding damage to the root system, on The windward side of the plant.

Irrigation system

Supply an automatic watering system using 'toro irrigation system' or similar approved, with micro-jet sprinkler heads and low density, rubber modified polypropylene reticulation, to include filters, bends junctions, ends and other ancillary equipment. The Landscaper shall nominate his source of supply for the watering system and obtain approval from the superintendent before placing orders for equipment or supply.
A schematic plan of the proposed irrigation system is to be prepared by the contractor, showing solenoids, pipe diameters, and all nozzle and trickle attachment types (including spray/head angle), for review by the superintendent prior to installation
the contractor is to liaise with the hydraulic engineer and council as necessary, to ensure the irrigation system conforms with all the council and water board codes and requirements.
Provide an automatic controller that provides for two week scheduling and hourly multi-cycle operation. The controller shall manual override. Programming shall be undertaken by the contractor who shall advise on the operation of the system.
provision of secure housing for the automatic irrigation controller to be located in association with the landscape contractor and location confirmed by the superintendent. Wiring to connect remote solenoid locations is to be provided. The controller shall be located in a dry place, protected from the weather, and all cable connections shall be made with waterproof connectors.

Installation shall be tested under known working conditions. Acceptance of the installed Plant and equipment shall be subject to these being satisfactory.
Timber or steel edging
N/a
Soft edges
All soft edges (mulch, turf, grassed) to be finished to appropriate falls and flush with Adjacent surface treatment.
Turf
Turf all landscape areas as shown on the landscape drawings. Turf is to have To prepare graded areas to receive turf, excavate the area and cultivate so as to allow For importing of 100mm of turf underlay soil. Remove all stones over 50mm ø and remove All weeds and foreign matter. Spread soil mix a.B.S to a depth of 100mm and grade to Appropriate levels to achieve general even grades to drainage outlets installed by Others.
Lay the turf along the land contours with staggered, close butted joints, so that the Finished turf surface is flush with adjacent finished surfaces of paving and the like. As Soon as practicable after laying, roll the turf with a roller weighing not more than 90kg Per metre of width for sandy or light soils.
Water as necessary to keep the soil moist to a depth of 100mm. Protect newly turfed Areas against traffic until grass is established. Fertilise two weeks after laying fertilise A.B.S
'Top dress' the turf when it is established to a depth of 10mm with coarse washed river Sand. Rub the dressing well into the joints and correct any unevenness in the turf Surfaces.

LEGEND

ISSUE	REVISION DESCRIPTION	DRAWN	CHECK	DATE
A	DEVELOPMENT APPLICATION	DO	CT	04.03.2022
B	DEVELOPMENT APPLICATION	DO	CT	07.03.2022
C	DEVELOPMENT APPLICATION	DO	CT	11.03.2022
D	DEVELOPMENT APPLICATION	DO	CT	17.06.2022
E	DEVELOPMENT APPLICATION	DO	CT	18.08.2022

PROJECT
8 LASSO ROAD
GREGORY HILLS, NSW, 2123, AUSTRALIA

STAGE
DEVELOPMENT APPLICATION

CLIENT
ZOMAYA GROUP

SHEET
LANDSCAPE DETAILS

JOB # SHEET # ISSUE NORTH

21_232 800 E

SCALE NTS